



Staff Report for Heritage Richmond Hill Meeting

Date of Meeting: September 12, 2017

Report Number: SRPRS.17.150

Department: Planning and Regulatory Services

Division: Policy Planning

**Subject: Notice of Intent to Designate 35 Wright Street
(Harry Endean House) (Town File No.: D12-
07414) (SRPRS.17.150)**

Purpose:

The purpose of this report is to seek Heritage Richmond Hill's recommendation regarding staff's proposal to designate the property municipally known as 35 Wright Street as having cultural heritage value or interest under Section 29 of the *Ontario Heritage Act*.

Recommendation(s):

- a) That Heritage Richmond Hill recommends to Council the property located at 35 Wright Street exhibits the cultural heritage value as detailed in Appendix A and included in SRPRS.17.150 to merit designation under Section 29, Part IV of the *Ontario Heritage Act*; and
- b) That Heritage Richmond Hill recommends to Council that a Notice of Intention to Designate be published in the Liberal Newspaper and that the Notice of Intention to Designate be served on the owner of the subject land and the Ontario Heritage Trust.

Contact Person:

Isa James, Heritage / Urban Design Planner, phone number 905-771-5529 and/or Joanne Leung, Manager of Heritage and Urban Design, phone number 905-771-5498.

Submitted by:

"Signed version on file in the Office of the Clerk"

Kelvin Kwan

Acting Commissioner of Planning and Regulatory Services

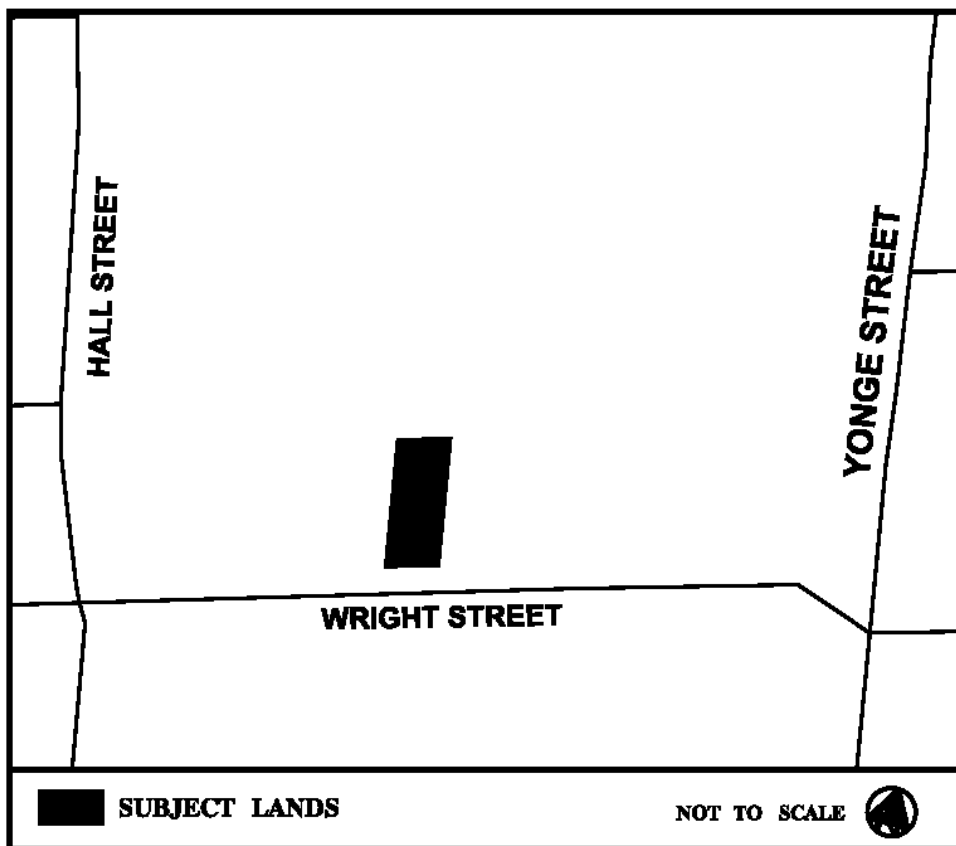
Approved by:

"Signed version on file in the Office of the Clerk"

Neil Garbe
Chief Administrative Officer

Location Map:

Below is a map displaying the subject property location. Should you require an alternative format, call the person listed under "Contact" above.



Background:

The subject lands are located on the north side of Wright Street, west of Yonge Street and encompass a total lot area of 730.9 square metres (7,867.34 square feet). The lands currently support a 1 ½ storey single detached dwelling listed in the Town’s Municipal Heritage Register. The existing house at 35 Wright Street is known as the Harry Endean House (named Enfield by the Endeans), and was constructed in 1920/1921 in the Arts and Crafts Bungalow tradition. Immediately east of the subject property is 31 Wright Street (site of the Percy Hill House) which also listed in the Town’s Heritage Register. Percy Hill House was constructed in 1918 and is built as a two storey

form also within the Arts and Crafts tradition. To the west of the subject lands is the former Richmond Hill High School building known as 51 Wright Street and designated in accordance with By-law 1-98 under the *Ontario Heritage Act*. The former Richmond Hill High School building was constructed in 1924. Recent extensive remodeling of the structure has been undertaken to accommodate the École Secondaire Norval-Morriseau. The new additions are considered by staff to have successfully maintained the prominence and heritage significance of the original historical building façade.

The subject lands are currently the subject of a Zoning By-law Amendment application File No. D02-16030. The owner of the lands is proposing to rezone the property to allow for the construction of a six storey office and residential building with twelve (12) at-grade parking spaces. The proposed development involves the demolition of the existing Harry Endean House. No decisions regarding the development application have been made at this time. A Cultural Heritage Impact Assessment (CHIA) was submitted in support of the rezoning application for the subject lands and is attached as Appendix A to this report.

Cultural Heritage Evaluation:

Under the *Ontario Heritage Act*, in order for a building to be deemed worthy of designation under Part IV or V of the *Act*, it must meet at least one of the criteria defined under Regulation 9/06 of the *Act*. Council may designate the building under Part IV of the *Act* if one of these criteria is met. The criteria include the following set of three overarching values within which are nine sub-criteria:

1. Physical/Design Value:
 - a. Is a rare, unique, representative or early example of a style, type, expression, and material or construction method;
 - b. Displays a high degree of craftsmanship or artistic merit; or
 - c. Demonstrates a high degree of technical or scientific achievement.
2. Associative/Historical Value:
 - a. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;
 - b. Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - c. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. Contextual Value:
 - a. Is important in defining, maintaining or supporting the character of an area;
 - b. Is physically, functionally, visually or historically linked to its surrounding; or
 - c. Is a landmark.

The Harry Endean House

The submitted Cultural Heritage Impact Assessment concludes that the subject property with the Harry Endean House does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the *Ontario Heritage Act*. Staff disagrees with the conclusion of the Cultural Heritage Impact Assessment. The Assessment is considered to understate the value of the property in regard to all three categories of assessment: design or physical value; historical or associative value; and contextual value.

Associative/Historical Value

The property has direct associations with the economic development of Richmond Hill through the establishment and advancement of the nursery industry in Richmond Hill. Harry Endean together with his wife Edith had the house built around the time of their marriage in 1920, naming it at that time “Enfield”. Harry together with his brother Robert took over their father’s (Henry Endean) nursery business established in 1912 on Centre Street in Richmond Hill and soon transferred the business to a new location just north of Elgin Mills on Yonge Street as the Endean Brothers Greenhouses and Nursery. The business continued to operate into the 1970’s and was an important flower business within the even larger nursery (known especially for rose cultivation) and sales employment sector in Richmond Hill. Staff considers Harry Endean to have been important in and contributed to the local nursery industries and thereby the history of Richmond Hill since before World War One until his death in 1972. He and Edith had also been involved in organizations committed to benefitting the Town, and were the parents of Frank Endean who became a well-known Regional Councillor in the Town.

In addition, the house was built by George S. Sims, a well-known builder, Councillor and Fire Brigade member (including Fire Chief in the Town). It is of further historical note that Harry’s mother Alice and brother Robert also had Arts and Crafts bungalows built in the same time frame as Harry and Edith had theirs’ built.

Mrs. Endean (Harry and Robert’s mother) advertised throughout 1922 for the sale of houses on Centre Street, suggesting that she had subdivided the former nursery lands on Centre Street and sold the properties as the houses became ready for occupancy. This implies that Alice Endean was an early developer in the Town.

Physical/Design Value

In architectural terms, the CHIA identifies the house as being typical of the Arts and Crafts style that is not rare, nor unique, nor a representative or early example of the style, type, and construction method. Staff disagrees with the assessment and considers the building, built in 1920, to be a representative example of the style and rare in that it has most of its exterior original features remaining intact. Appendix C is a copy of the original specifications and Appendix D is a reduced copy of blue-prints for the house. Together with the photos shown in Appendix E, it can be seen how the house still retains the original materials from the time of construction.

Contextual Value

The CHIA further indicates that the building is not important in defining, maintaining or supporting the character of the neighbourhood, due to the great alteration of Wright Street over time. Again staff disagrees with this conclusion. The building sits between two buildings that were built in the same timeframe and retain their significant heritage qualities. The school located on the west side of the subject lands has been designated under Section 29 of the *Ontario Heritage Act* (OHA) and the two-storey Arts and Crafts house located to the east of the subject lands is considered a unique and well-preserved example of the style. Richmond Hill's former Town Hall (and High School) at 10268 Yonge Street, built in 1897 and designated in 1989, has a side wall on Wright Street just to the east of the subject lands. The subject building provides a continuum within the localized heritage character.

Staff Consideration

Physical/Design Value	
Regulation 9/06 Criteria	Staff Comments
a. Is a rare, unique, representative or early example of a style, type, expression, material or construction method.	<ul style="list-style-type: none"> The structure is a representative example of the Arts and Crafts Bungalow Style in Richmond Hill that is in excellent and original condition.
b. Displays a high degree of craftsmanship or artistic merit.	<ul style="list-style-type: none"> The house exhibits a high degree of craftsmanship as evidenced by its continued excellent state of repair.
c. Demonstrates a high degree of technical or scientific achievement.	<ul style="list-style-type: none"> N/A
Associative/Historical Value	
Regulation 9/06 Criteria	Staff Comments
a. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	<ul style="list-style-type: none"> Harry Endean is associated with the establishment and management of Endean Nurseries. The property through the owner has direct associations with the nursery industry; a decades long large employment sector in Richmond Hill. The property has direct association with the owners of the property Harry Endean and Edith Endean (née Littlefield), both involved in various civic associations. H. Endean also served as a School Board Trustee for number of years in the 1920's.
b. Yields, or has the potential to yield	<ul style="list-style-type: none"> NA

information that contributes to an understanding of a community or culture, or	
c. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	<ul style="list-style-type: none"> George S. Sims was the contractor and builder of the house. George S. Sims was an important person in the history of the Town. He served as Councilor, was member of Fire Brigade (including at one point the Fire Chief).
Contextual Value	
Regulation 9/06 Criteria	Staff Comments
a. Is important in defining, maintaining or supporting the character of an area,	<ul style="list-style-type: none"> The subject building is a part of the localized heritage character continuum.
b. Is physically, functionally, visually or historically linked to its surrounding, or	<ul style="list-style-type: none"> The building sits between two properties having buildings that were built in the same time frame and retain their significant heritage qualities.
c. Is a landmark	<ul style="list-style-type: none"> N/A

Appendix B contains a Draft Statement of Cultural Heritage Value or Interest for 35 Wright Street (the Harry Endean House).

Financial/Staffing/Other Implications:

There are no financial implications through the adoption of this report.

Relationship to the Strategic Plan:

The recommendations in this report relate to the Strategic Plan Goal of “wise management of resources in Richmond Hill” and the objective of being responsible by serving as a role model for municipal management. A detailed consideration of the heritage merits of the subject property is in keeping with Goal 3 – Outcome 1 of the Strategic Plan which is to “Respect the past through promoting the awareness of the Town’s heritage.” Consideration of the heritage merits also aligns with the direction to “steward Richmond Hill’s heritage resources”, and implements Outcome 2 of Goal 3 which is the promotion of a sense of identify and place through “the celebration, promotion and enhancement of the Town’s unique places”.

Conclusion:

Staff is of the opinion that the CHIA submitted by the owner undervalues the cultural heritage value of the house. Additional staff research leads to the conclusion that the

Harry Enfield House has heritage value as measured by Regulation 9/06 of the *Ontario Heritage Act*. Staff support the designation of the Harry Endean House located at 35 Wright Street due to its significant physical/design value, associative/historical value and contextual value under Part IV of the *Ontario Heritage Act*. A full list of the attributes proposed to be included in the designation by-law for the Harry Endean House is included in Appendix B.

Attachments:

The following attached documents may include scanned images of appendixes, maps and photographs. If you require an alternative format please call contact person listed in this document.

- Appendix A Cultural Heritage Impact Assessment for 35 Wright Street by CHC Limited, amended June 19, 2017
- Appendix B Draft Statement of Cultural Heritage Value or Interest for 35 Wright Street (the Harry Endean House)
- Appendix C Construction Specifications for 35 Wright Street
- Appendix D Reduced House Plan Blueprints for 35 Wright
- Appendix E Photos of Exterior of 35 Wright Street



**Cultural Heritage Impact Assessment
35 Wright Street
Part of Lots 8 & 9, Registered Plan 647
Town of Richmond Hill
Regional Municipality of York**

CHC Limited
87 Liverpool Street, Guelph, ON N1H 2L2
oscott87@rogers.com

July 11, 2016
amended June 19, 2017

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35 Wright Street, Richmond Hill, ON**

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cover photo: 35 Wright Street, February 9, 2016
all photographs by Owen R. Scott, February 9, 2016, unless otherwise attributed

1.0 INTRODUCTION to DEVELOPMENT SITE

This amended Cultural Heritage Impact Assessment (CHIA) has been prepared for 1641031 Ontario Limited to facilitate the proposed redevelopment of 35 Wright Street in Richmond Hill. The redevelopment proposal consists of demolishing the existing residence and replacing it with a 6-storey + mechanical floor office building. The existing structure at 35 Wright Street is listed on the Town’s *Inventory of Buildings of Architectural and Historical Importance*, triggering the requirement for a CHIA. The Town of Richmond Hill *Cultural Heritage Impact Assessment Terms of Reference* are employed in the conduct of this CHIA for the property.¹

1.1 Location / context

Figure 1 is a Property Index Map showing the location of 35 Wright Street (in green) on the north side of the street, west of Yonge Street in downtown Richmond Hill.

Figure 2 is an aerial photograph of the area in which the subject property is located. Downtown shopping, restaurants, Seneca College campus and the Performing Arts Centre are at Yonge and Wright Streets. The subject property is partially surrounded by a secondary school property. A mostly single-family neighbourhood is to the west of Hall Street. Mixed uses; a hospice, a church, and condominium residences are to the south.

Figure 3 is a close-up aerial photograph showing the neighbouring properties, the designated, former Richmond Hill High School (now École Secondaire Norval-Morrisseau) on the west and north boundaries, 31 Wright Street, a former residence (now accountants offices), and a shopping plaza on the east, and Hill House Hospice, Baptist Church, and the parking lot for Seneca College and the Richmond Hill Performing Arts Centre across the street.

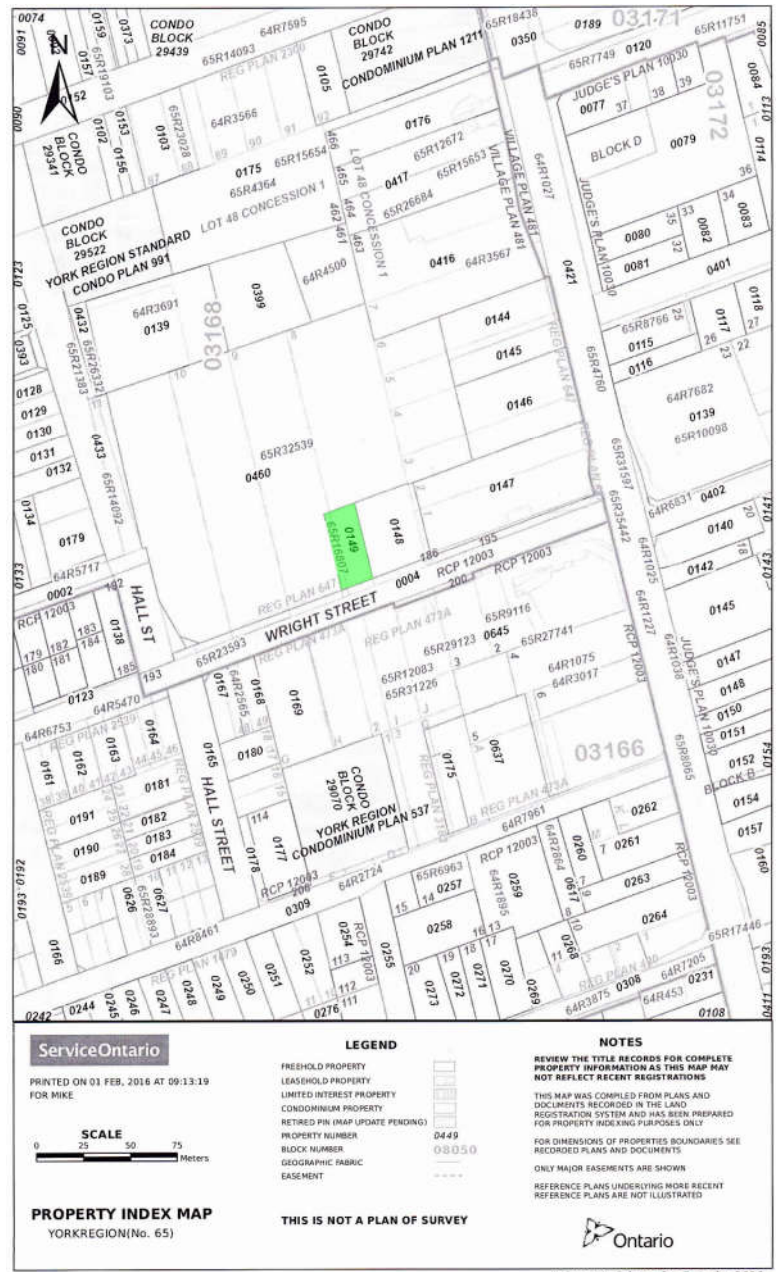
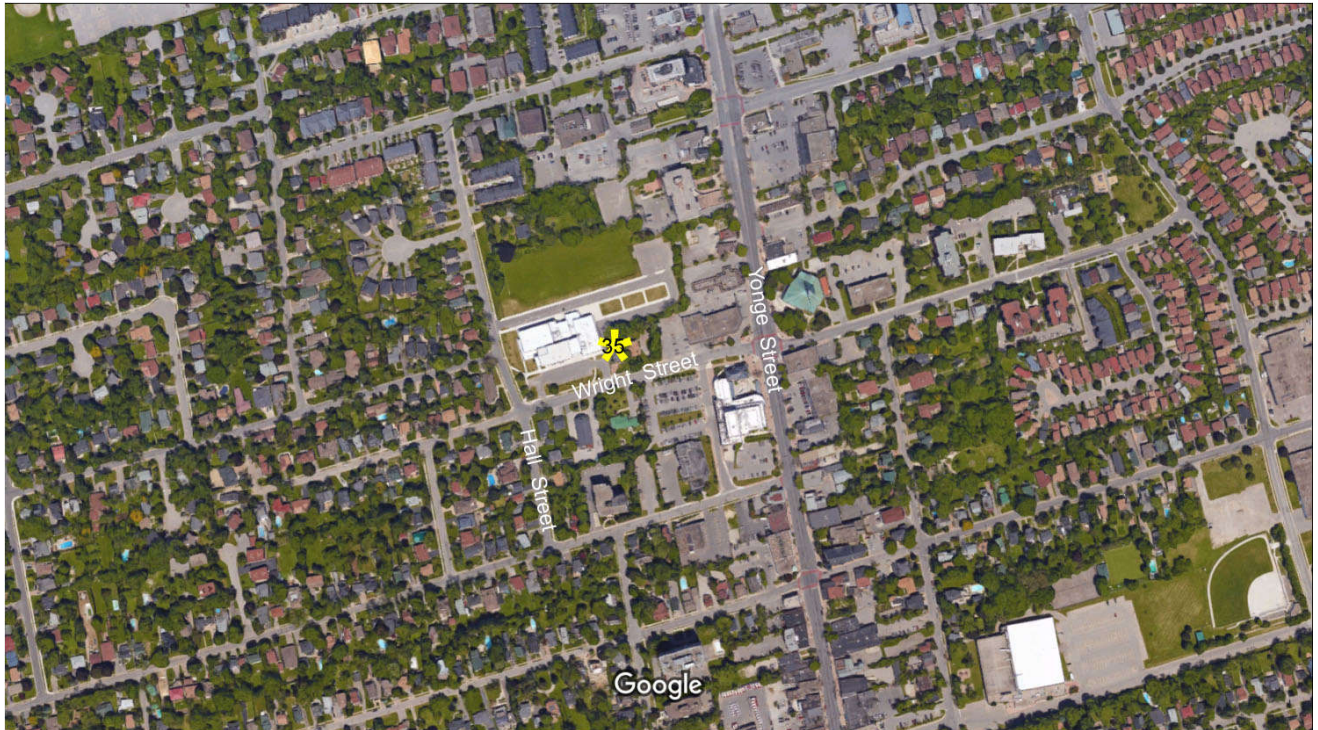


Figure 1 Property Index Map - Service Ontario

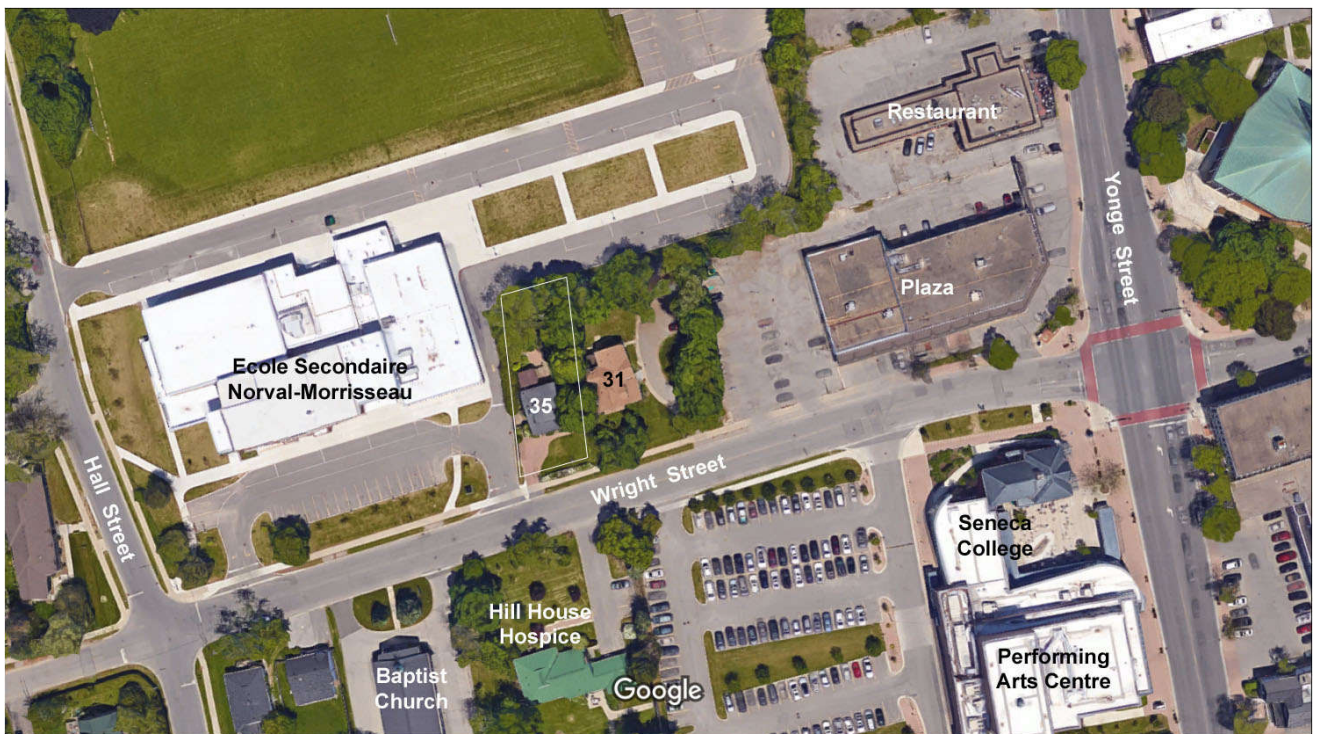
¹Cultural Heritage Impact Assessment Terms of Reference, updated December 4, 2012, Town of Richmond Hill



Imagery ©2016 Google, Map data ©2016 Google 100 m

Figure 2

35 Wright Street location (yellow asterisk) - Google Maps



Imagery ©2016 Google, Map data ©2016 Google 20 m

Figure 3

35 Wright Street neighbouring context - Google Maps

1.2 Proponent contact information

1641031 Ontario Limited
10 Verwood Avenue,
Toronto, ON M3H 2K4

1.3 Description of the property

35 Wright Street is a *circa* 1923 former single family, 1 ½-storey residence on a 736 m² (0.07 ha) lot (17.68 m x 41.63 m). A later addition is found at the rear, flanked on the east by a raised wood deck (Figure 8). The house is set back from the street approximately 9 metres with a +/- 2 metre minimum west side yard and a +/- 5 metre minimum east side yard. The rear yard is approximately 12 metres deep (Figure 6). Two small steel sheds are located on the east side of the house (Figure 10). A Spirea hedge borders the front property line (Figure 8). An Eastern White Cedar hedge and board-on-board fence defines the westerly property boundary (Figure 11) and a board fence/chain link fence the eastern property boundary. Mature Norway Maple trees line the eastern property line. The rear property boundary is defined by mature deciduous trees as well.

1.4 The cultural heritage resource

The residence at 35 Wright Street is the cultural heritage resource on the property. It is listed in the Town's *Inventory of Buildings of Architectural and Historical Importance* with the reason for listing being "A"².

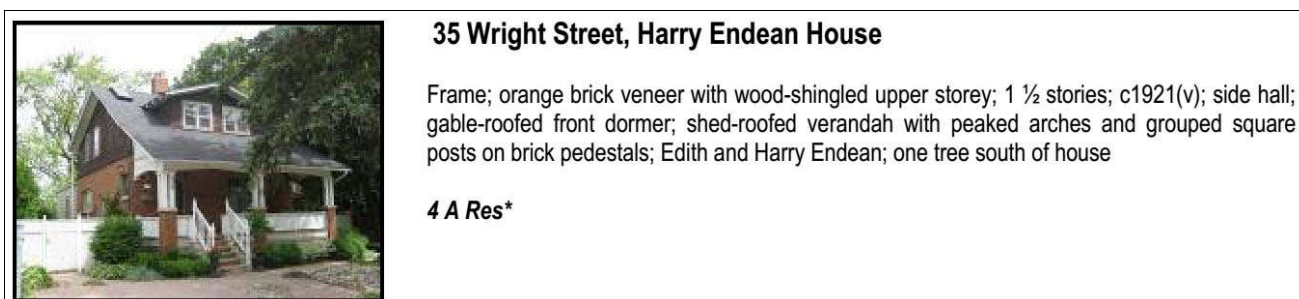


Figure 4 from: *Inventory of Buildings of Architectural and Historical Importance* - Heritage Richmond Hill, revised 2008

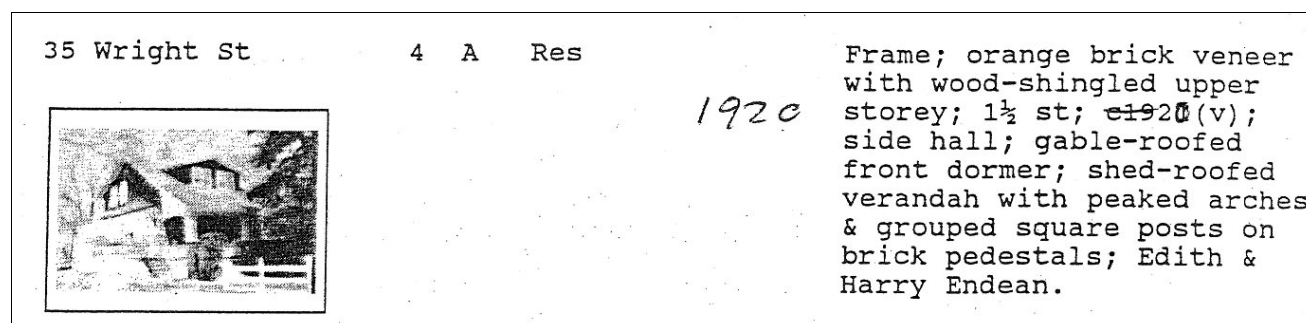


Figure 5 from: heritage inventory, page 95

² Refers to the reason for including the building in the *Inventory*. "A" is for architectural, "C" for contextual, and "H" for historical importance. "Most buildings are listed as being of some architectural merit, if only in so far as the architecture suggests possible age." *Inventory of Buildings of Architectural and Historical Importance*

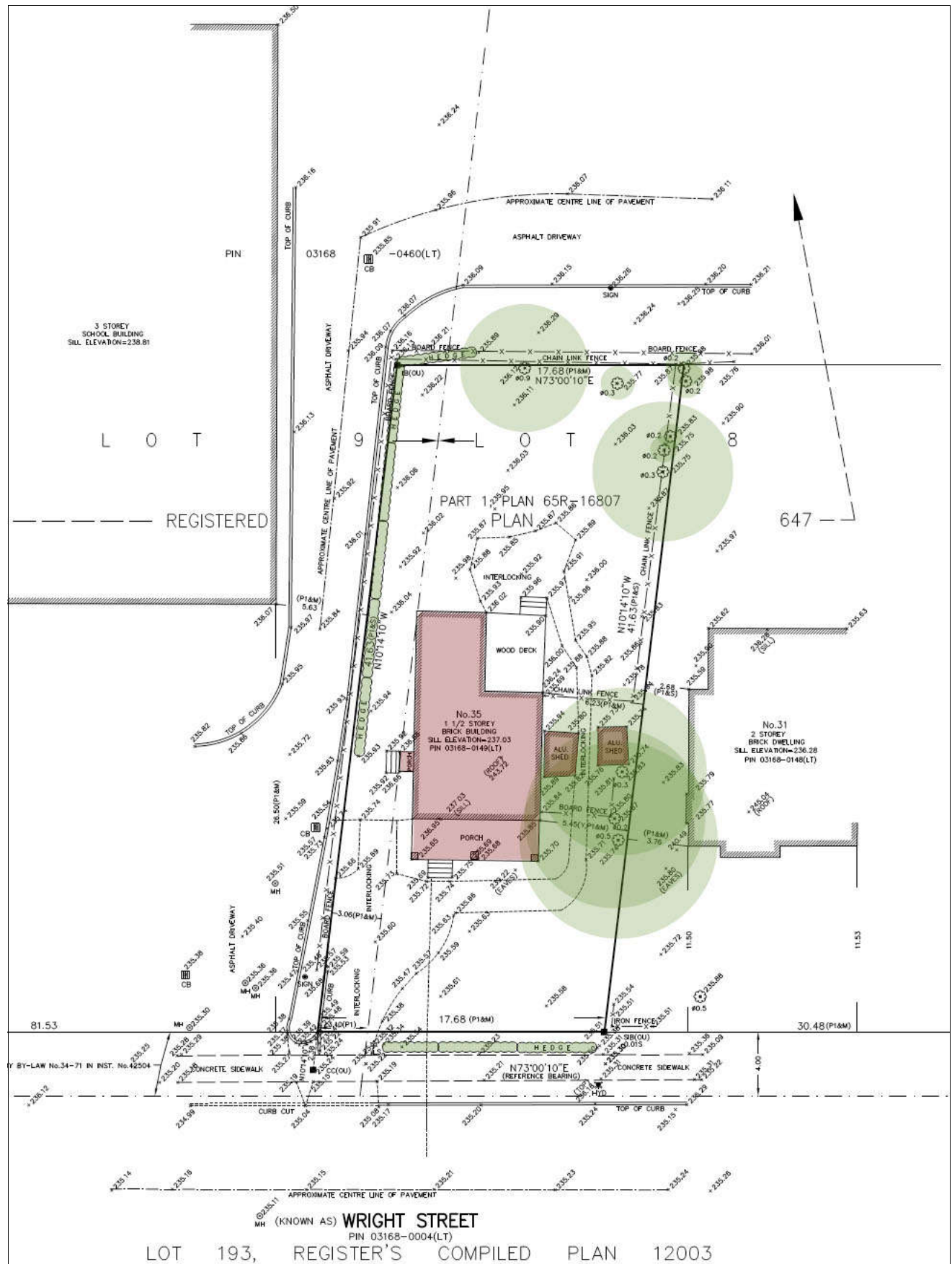


Figure 6 survey, existing conditions - from: Vladimir Dosen Surveying, September 22, 2015

The property is not listed in Parks Canada's *National Historic Sites of Canada*, or the *Canadian Register of Historic Places*. The building is described as a gable-roofed, 1½ storey frame house with an orange brick veneer lower storey and wood-shingled upper storey. It has a gable-roofed front dormer with two paired windows (Figure 11); a shed-roofed verandah with peaked arches and grouped square posts on brick pedestals (Figure 13). Further, the windows are 6/1 and appear to be original to the house (Figure 14). Window configurations include numerous paired windows, single windows, and one triple window (Figure 15). Wood storm windows grace the lower floor windows with aluminum storms on the 2nd storey. Soldier course brick lintels head lower storey windows (Figure 17). Lower storey sills are rusticated precast concrete (Figure 17). The glazed front door appears to be original and is protected by a Victorian-style storm door (Figure 16). Soffits and verandah ceiling are tongue and groove wood construction (Figure 13). The asphalt-shingled roof sports a skylight on the south face. There is one central brick chimney with two flues. The house rests on a poured concrete foundation (Figure 18). A west side entrance is a half level below the main floor (Figure 15). A later frame, horizontal wood-sided addition is to the rear (Figure 19).



Figure 7

front (south) facade

Typical of the Arts and Crafts style of the 1920s and 1930s, the house is not rare, nor unique, nor a representative or early example of a style, type, expression, material and construction method. It is one of at least fourteen Arts and Crafts houses, including nine Arts and Crafts bungalows listed in the Town's Register, five of which appear to be almost identical (Appendix 2). No structural analysis or condition assessment was undertaken for this report other than a visual inspection; the building appears to be in good condition.



Figure 8

front (south) facade - *Google Street View* June 2015



Figure 9

rear (north) facade



Figure 10

east facade with storage sheds



Figure 11

west facade



Figure 12 gable-roofed, shingled, front dormer with exposed roof rafters and 2 paired, 6/1 windows.



Figure 13 verandah



Figure 14 typical 6/1 paired windows (east side)



Figure 15

triple window, west side



Figure 16

front door



Figure 17

rear (north) window



Figure 18

poured concrete foundation



Figure 19

single-storey rear addition

1.5 Surrounding Context

This block of Wright Street is an eclectic mix of different land uses, varying heights and massing of buildings, setbacks and parking lots (Figures 20 - 26).



Figure 20

immediate neighbourhood - *Town of Richmond Hill Maps*



Figure 21

hospice and Baptist Church across the street from 31 Wright Street



Figure 22 Seneca College (former high school/town hall) and Performing Arts Centre at Yonge and Wright



Figure 23 looking towards Yonge Street from 31 Wright Street



Figure 24

commercial plaza at Yonge and Wright



Figure 25

31 Wright Street



Figure 26

École Secondaire Norval-Morrissette (former Richmond Hill High School)

The context for 35 Wright Street has been altered dramatically since it was constructed *circa* 1923. It is not important in defining, maintaining or supporting the character of the neighbourhood

2.0 BACKGROUND RESEARCH and ANALYSIS

The earliest Land Registry Office record for the sale of Lots 8 and 9 is the 8th of February 1885 by P. S. Gibson. Prior to that, this area of the Town of Richmond Hill had not been subdivided as can be seen in this 1878 map of the Village of Richmond Hill (Figure 27).

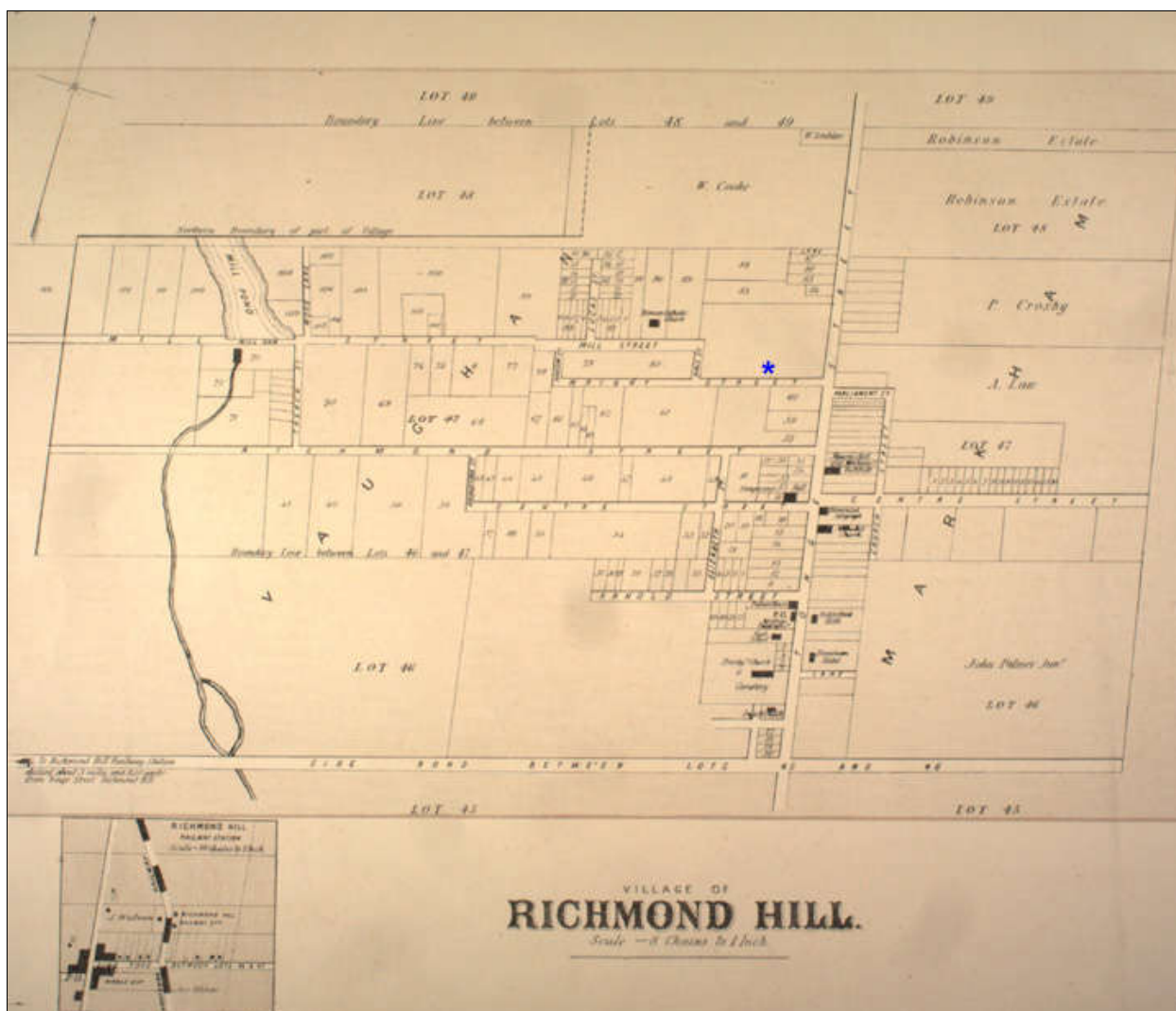


Figure 27 Village of Richmond Hill (subject property marked by blue asterisk) from: *Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe, Ont.*, Toronto : Miles & Co., 1878.

Matthew McNair purchased Lots 8 and 9, Registered Plan 647 in 1885 and sold both to Isaac Walder for \$800 in 1905. Walder subdivided both lots and sold the portion of Lot 8 that is now 35 Wright Street in July of 1920 to Edith Littlefield (later Endean). In 1922 Walder sold Lot 9 to Ralph Langstaff, who in turn sold a portion to Harry Endean (Edith's husband) in 1923 for \$120. Edith obtained two mortgages totalling \$3,800 in the spring of 1921, with which the house was built, probably in 1923. The mortgages were discharged in 1939. Harry Endean worked locally with other family members in the nursery business. He was a member of the Rose Society of Ontario and a flower auctioneer at the 1938 Annual Rose Show³. He was also a member of the Flower Committee for Toronto's Centennial celebration in 1934⁴. The Endean family owned numerous homes in the town, including at least four similar Arts and Crafts homes of the era (Appendix 2). Endean Nurseries was one of a number of horticultural enterprises in the Town in the first part of the 20th century.

³ *Year Book of The Rose Society of Ontario 1913-1939*, pp. 13 & 14

⁴ *Toronto's 100 Years 1834-1934: The Official Centennial Book*, Jesse Edgar Middleton, 1934

The active horticultural scene at Richmond Hill attracted other entrepreneurs, who opened greenhouse and nursery operations throughout the 1910s and 1920s: Henry Arnold and his Bedford Park Floral Company, located north of the Dunlop greenhouses; the Endean Brothers and their nursery business; and Walter Watson, H. Davis, and other independent operators. Almost overnight, the horticultural industry made the village famous and became Richmond Hill's major employer.⁵

In 1941, the Endeans sold the property to John H. and Hilary D. Curzon. The property changed hands again in 1943 to Albert W. Chisholm and then again in 1947 to Florence G. Irwin who lived in the house for 46 years. Susan Smit bought the property in 1993 and sold it in 2014 to Zinyat Ozcan and Gunay Quliyeva. Nine months later the property was sold to Svitlana Kotler, whereupon it was transferred to Svitlana Kotler and Olga Boldareva, then back to Svitlana Kotler, then to Svitlana and Igor Kotler, the current owners, all in 2015.

Neither the original homeowner, nor any of the subsequent residents appears to have been of historical significance to the community. Census data, Archives of Ontario, Library and Archives Canada, business directories, Canadian Cemetery Records, and the Richmond Hill Public Library were searched for information.

3.0 STATEMENT of SIGNIFICANCE

Section 2 of the *Planning Act* indicates that Town Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement (PPS)*. Policy 2.6.1 of the *PPS* requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.⁶

The *PPS* defines “built heritage resource” as a building, structure, monument, installation or any manufactured remnant that **contributes to a property’s cultural heritage value or interest as identified by a community**, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the **identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained under the *Ontario Heritage Act***. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment.

The question that requires an answer is whether or not the subject property is worthy of heritage designation in

⁵ *Early Days in Richmond Hill, A History of the Community to 1930*, Chapter 11, Robert M. Stamp

⁶ *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans*, Winter 2006

accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*.

Ontario Regulation 9/06 states: *A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:*

1. *The property has design value or physical value because it,*
 - *is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - *displays a high degree of craftsmanship or artistic merit, or*
 - *demonstrates a high degree of technical or scientific achievement.*
- *The property has historical value or associative value because it,*
 - *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
- *The property has contextual value because it,*
 - *is important in defining, maintaining or supporting the character of an area,*
 - *is physically, functionally, visually or historically linked to its surroundings, or*
 - *is a landmark.*

The house is listed on the Town of Richmond Hill's *Inventory of Buildings of Architectural and Historical Importance Properties*.

The property does not meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*.

It does not have *design value or physical value*. The building is not rare, nor unique, nor a representative or early example of a style, type, expression, material and construction method; it does not display a high degree of craftsmanship; and it does not demonstrate a high degree of technical or scientific achievement.

It does not have *historical value or associative value*. The building has no direct association with a theme, event, belief, person, activity, organization or institution that is significant to the community. The building does not yield, nor has the potential to yield, information that contributes to an understanding of a community or culture. It does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

It is not important in defining, maintaining or supporting the character of the neighbourhood; the character of this block of Wright Street has been greatly altered over time and is an eclectic mix of various ages of institutional, commercial, and residential uses.

4.0 DEVELOPMENT PROPOSAL

The proposal is to demolish the building and replace it with a 6-storey + mechanical floor office building (Figures 28 - 30). Proposed sideyards are 600 / 659 mm (+/- 2'). Front yard setback is 10,994 mm (36'). Surface parking is at the front as in the existing situation; the remainder of the parking is under cover of the building (Figure 28).

In a larger context, a conceptual plan dealing with the redevelopment of both 35 and 31 Wright Street has been prepared (Figures 31 and 32). Provisions in the Official Plan and the evolving Secondary Plan for the area allow/propose between 2 and 2.5 times coverage. The planning justification report for this project provides further explanation and rationale for higher intensity. The concept for both lots retains the heritage structure at 31 Wright Street and integrates it with a future building.

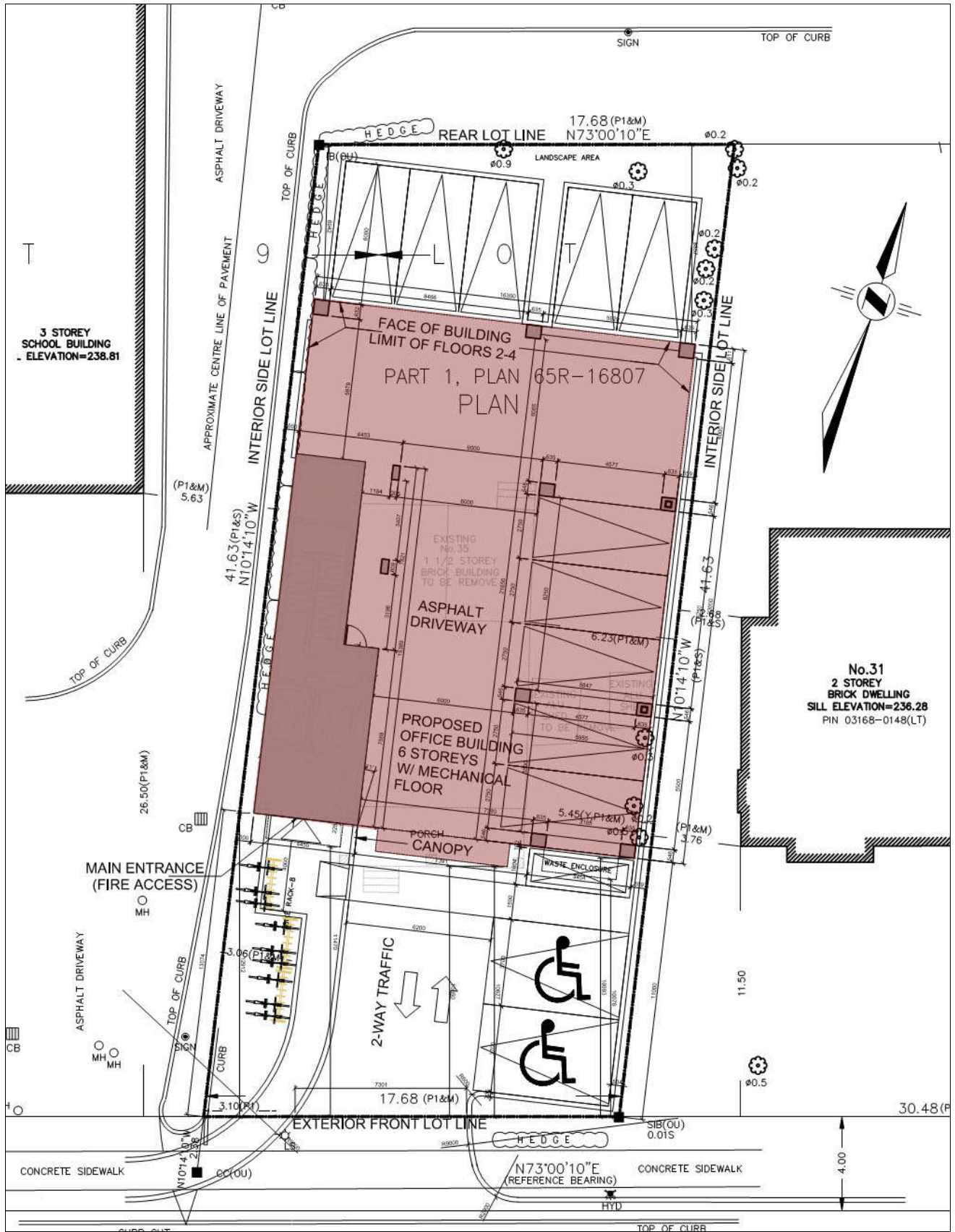
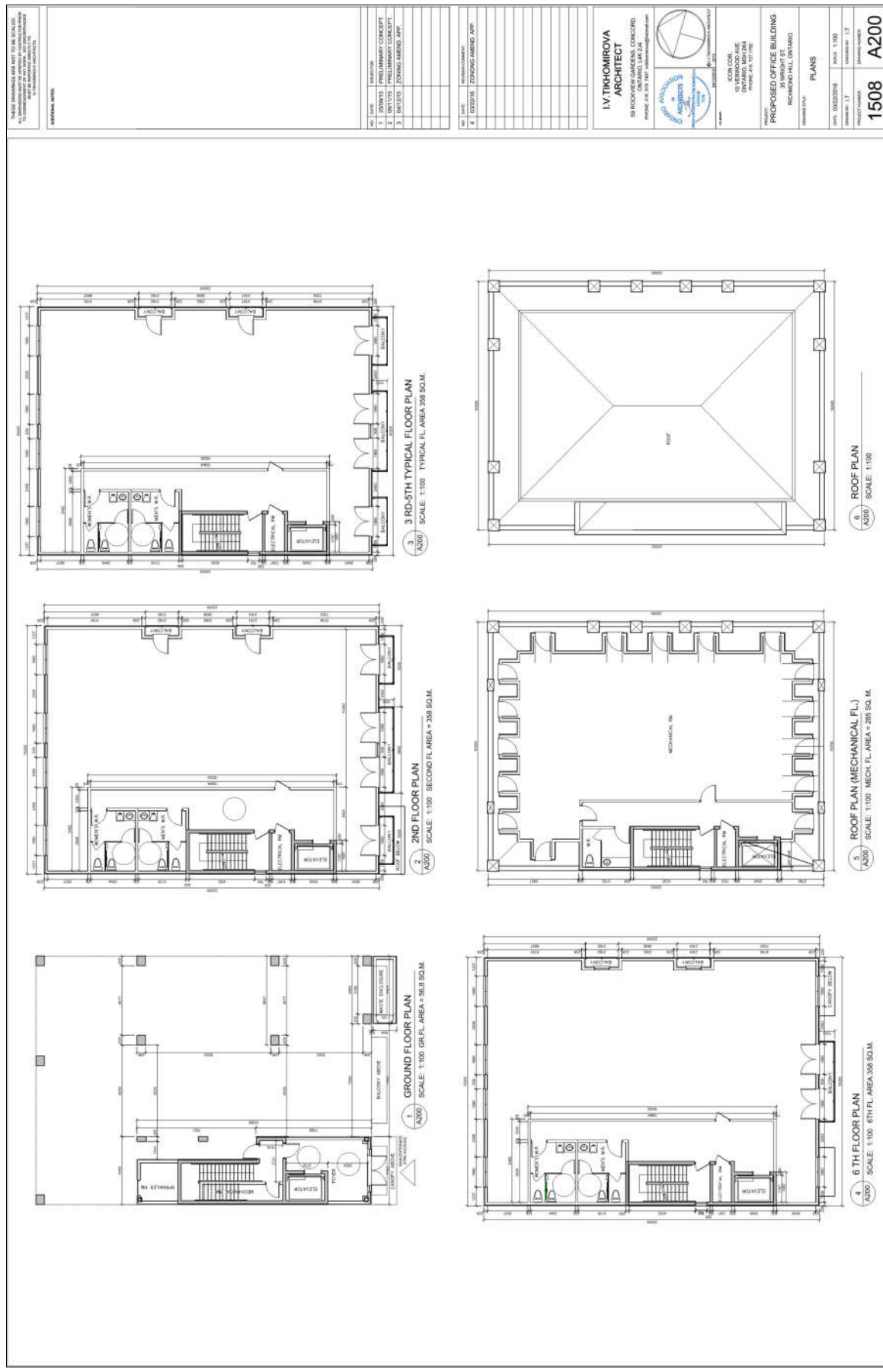


Figure 28

Site Plan - after: I. V. Tikhomirova Architect, March 22, 2016



floor plans - after: I. V. Tikhomirova Architect, March 22, 2016

Figure 29

Cladding is a combination of marble-finish stucco and brick with stucco mouldings and a metal roof. Aluminum windows and doors and pre-finished metal railings are proposed.

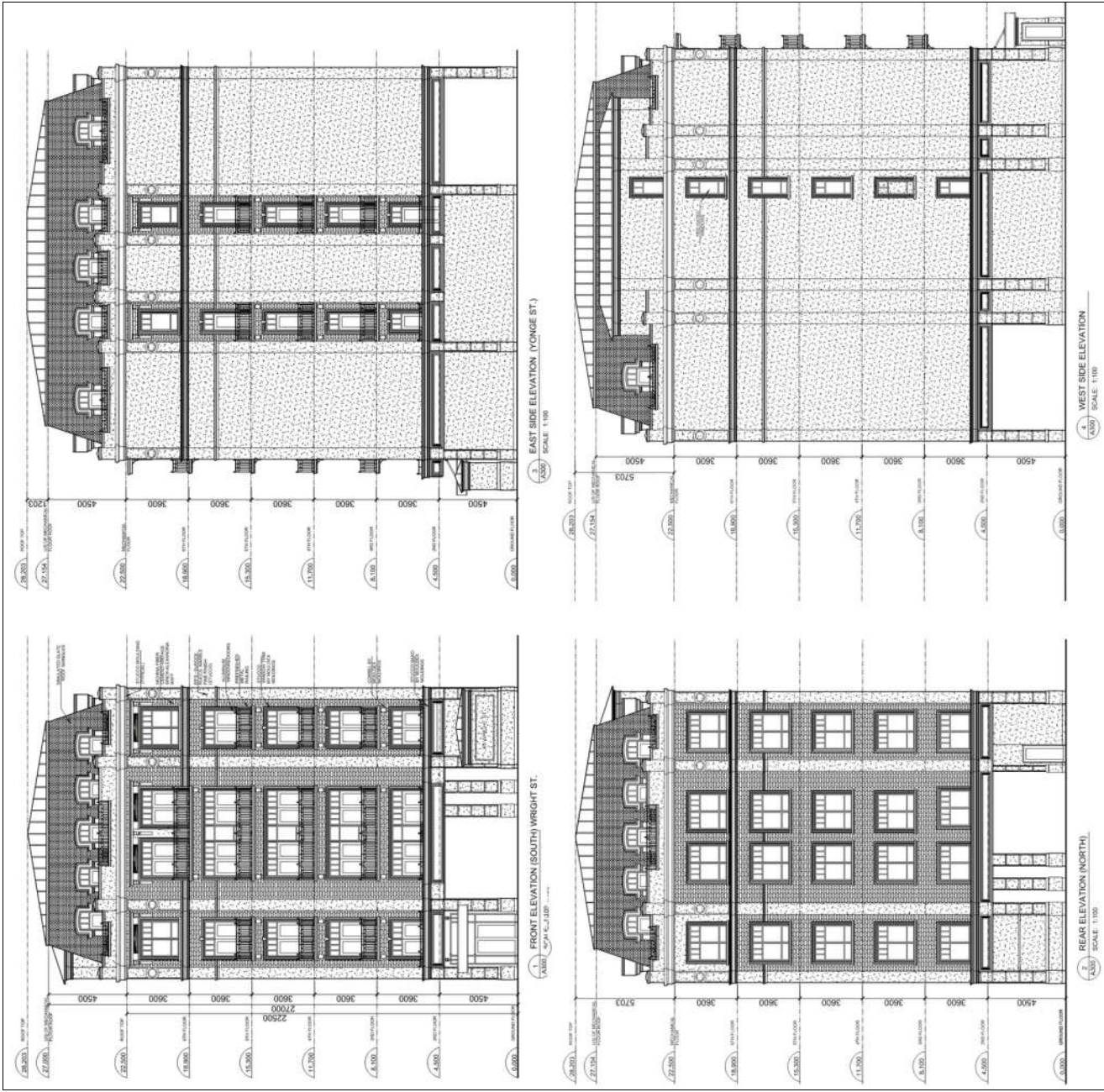


Figure 30

elevations - after: I. V. Tikhomirova Architect, March 22, 2016

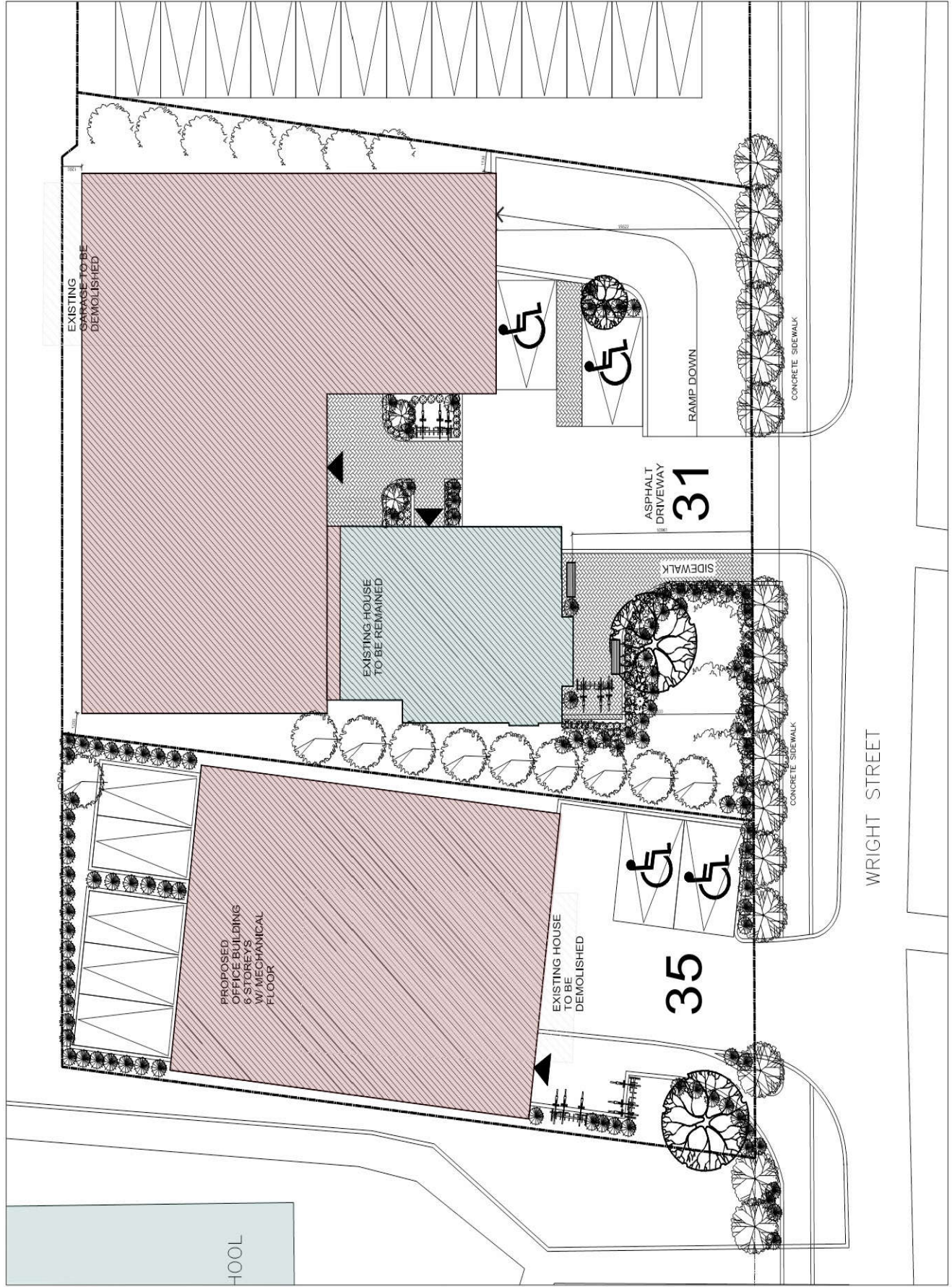


Figure 31

Conceptual Site Plan, 31 & 35 Wright Street - after: I. V. Tikhomirova Architect, June 13, 2016



Figure 32

Streetscape Concept, 31 & 35 Wright Street - after: I. V. Tikhomirova Architect, June 13, 2016

The proposed building at 35 Wright Street is four-storeys taller than the adjacent school and 5-storeys taller than adjacent 31 Wright Street. Buildings across the street range from the single-storey Hospice to a church with a tall steeple to the 5-storey Performing Arts Centre.



Figure 33

shadow study - after: I. V. Tikhomirova Architect, March 22, 2016

A shadow study prepared by the architect (Figure 33) shows the impact on the adjacent heritage designated school is minimal, with only the blank wall of the far easterly wing being affected mid-morning throughout the year. The impact on adjacent, heritage listed 31 Wright Street is greater, putting the building in shadow from mid-afternoon until evening throughout the year.

5.0 IMPACT of DEVELOPMENT

Potential impacts and an assessment of the proposed development follows.

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features 	no impact - building is not a significant cultural heritage resource
<ul style="list-style-type: none"> • Removal of natural heritage features, including trees 	minimal impact - trees to be removed are Norway Maple
<ul style="list-style-type: none"> • Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance 	not applicable
<ul style="list-style-type: none"> • Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden 	late afternoon shadows on adjacent 31 Wright Street will be lengthened - impact expected
<ul style="list-style-type: none"> • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship 	not applicable
<ul style="list-style-type: none"> • Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features 	front yard setback similar to existing - 4.4 m separation of facades of 31 & 35 Wright Street retains existing view of 31 Wright Street
<ul style="list-style-type: none"> • A change in land use where the change in use negates the property's cultural heritage value 	no impact
<ul style="list-style-type: none"> • Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources 	no impact

The significant heritage resource (former Richmond Hill High School) is not materially affected by the proposed development. 31 Wright Street is somewhat affected by virtue of the lengthy time it is in shadow from the proposed building. Because it is an office building, the impact is not as substantial.

6.0 CONSIDERED ALTERNATIVES and MITIGATION STRATEGIES

The mass of the proposed building is broken up with an interesting fenestration, materials, and glazing that addresses the street in a positive way. The proposed building is taller than its immediate neighbours, and taller than buildings within the block, and in sight. Intensification plans for the planning area suggest that the site could redevelop at much higher densities than currently exist. The only negative impact on a significant cultural heritage resource appears to be the shadow cast by the proposed building. Land use (office) of 31 Wright Street would mitigate this impact to a large extent.

7.0 CONSERVATION STRATEGY

Removal of the property at 35 Wright is being proposed. Site specific design guidelines recommended include:

- a landscape plan that addresses the neighbouring property at 31 Wright Street in a complementary fashion;
- low level screening of the surface parking spaces in the front yard, *i.e.* hedging and/or fencing.

This amended cultural heritage resource impact assessment is respectfully submitted by:

CHC Limited



Owen R. Scott, OALA, FCSLA, CAHP

REFERENCES

Canadian Register of Historic Places http://www.historicplaces.ca/visit-visite/rep-reg_e.aspx

Cultural Heritage Impact Assessment Terms of Reference, updated December 4, 2012, Town of Richmond Hill

Early Days in Richmond Hill, A History of the Community to 1930, Robert M. Stamp, Richmond Hill Public Library Board, 1991

Illustrated Historical Atlas of the County of York and the Township of West Gwillimbury & Town of Bradford in the County of Simcoe, Ont., Toronto : Miles & Co., 1878

Ontario Heritage Act R.S.O. 1990, CHAPTER O.18

Ontario Heritage Act, Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest

Ontario Heritage Tool Kit <http://www.culture.gov.on.ca/english/heritage/Toolkit/toolkit.ht>

Parks Canada National Historic Sites of Canada http://www.pc.gc.ca/progs/lhn-nhs/index_e.asp

Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada
http://www.pc.gc.ca/docs/pc/guide/nldclpc-sgchpc/index_E.asp

Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

Richmond Hill Our Heritage Our Community, Compiled, Written & Drawn by Michael B. C. Lai ,Translated by Vicky Wong, 8 September 2006

Site Plan, Floor Plans, Elevations, Angular Planes, Shadow Study, I. V. Tikhomirova Architect, March 22, 2016 and June 7, 2016

Site Survey, Vladimir Dosen Surveying, September 22, 2015

Toronto's 100 Years 1834-1934: The Official Centennial Book, Jesse Edgar Middleton, 1934

Town of Richmond Hill Inventory of Buildings of Architectural and Historical Importance, Heritage Richmond Hill, revised 2008

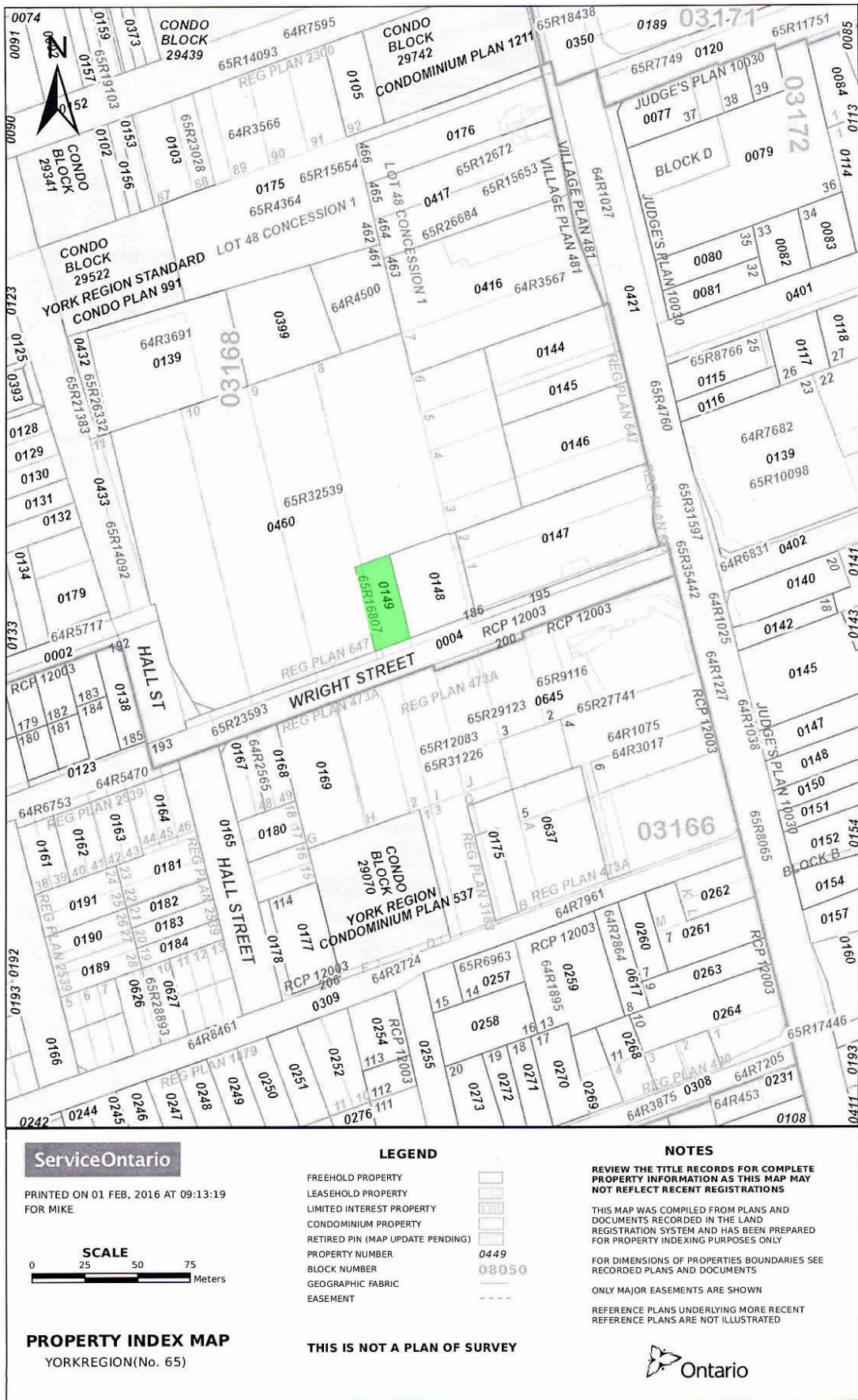
Town of Richmond Hill Urban Design Brief– Site Plan Applications, Terms of Reference, Planning & Regulatory Services Department, last updated January 2014

Year Book of The Rose Society of Ontario 1913-1939, The Maccoomb Press Limited, Toronto, 1939, pp. 13 & 14

Appendix 1

Chain of Title - PIN 03168-0149 (LT) 35 Wright Street, Richmond Hill, ON

no.	instrument	instrument date	registration date	Lot	compensation	from	to
484	Plan 647	8 Feb 1885	6 March 1886	8		P. S. Gibson	Matthew McNair
928	Grant	11 Sept 1905	30 Sept 1905	8	\$800	Matthew McNair and Jane his wife	Isaac L. Walder
1911	Grant	10 July 1920	14 July 1920	Pt. 8	\$400	Isaac L. Walder & Matilda A. his wife	Edith Littlefield
2156	Grant	23 May 1922	29 May 1922	9	\$5000	Isaac L. Walder & Matilda A. his wife	Ralph L. Langstaff
2369	Grant	5 June 1923	27 June 1923	Pt. 9	\$120	Ralph L. Langstaff	Harry Endean
the house was likely built in 1923 with the consolidation of Parts of Lots 8 and 9							
3812	Grant	22 Oct 1941	25 Oct 1941	Pt. 8 & 9	\$3500	Edith Endean	John H. Curzon & Hilary D. his wife
3973	Grant	9 Aug 1943	10 Aug 1943	Pt. 8 & 9	\$2500	John H. Curzon & Hilary D. his wife	Albert W. Chisholm
4703	Grant	2 June 1947	16 June 1947	Pt. 8 & 9	\$7000	Albert W. Chisholm & Mary L. his wife	Florence G. Irwin
630649	Transfer		1 Dec 1993	Pt. 8 & 9	\$186,000	Florence G. Irwin	Susan Smit
YR2107247	Transfer		20 Mar 2014	Pt. 8 & 9		Susan Smit	Zinyat Ozcan and Gunay Quliyeva
YR2238088	Transfer		30 Dec 2014	Pt. 8 & 9		Zinyat Ozcan and Gunay Quliyeva	Svitlana Kotler
YR2242337	Transfer		13 Jan 2015	Pt. 8 & 9		Svitlana Kotler	Svitlana Kotler and Olga Boldareva
YR2270606	Transfer		25 Mar 2015	Pt. 8 & 9		Svitlana Kotler and Olga Boldareva	Svitlana Kotler
YR2403656	Transfer		14 Dec 2015	Pt. 8 & 9		Svitlana Kotler	Svitlana Kotler and Igor Kotler



**58 Centre Street West, Alice Endean House****WP**

Brick; brown; 2 stories; 1923(v); side hall; Queen Anne Revival; gable front with pent eave; transomed front window; shed-roofed verandah on Tuscan columns on brick pedestals; William H. Graham, builder, to George Glenn; Frame 2 storey rear addition; one tree south of house.

4 AC Res*

Very similar to 35 Wright Street - another Endean house - mis-labelled in Inventory as Queen Anne Revival

**101 Centre Street West, Harold Murphy House****WP**

Brick; brown and beige; 1 ½ stories; 1922(v); side hall; Arts and Crafts; bracketed gable roof with large bracketed gable-roofed front dormer; exposed rafter ends; side bay window; verandah under main roof, on short square tapered posts on brick pedestals; Harold Murphy; three trees south of house.

4 AC Res*

same facade and floor plan as 35 Wright Street

**20 Elizabeth Street South, Robert Endean House****WP**

Frame; buff brick veneer; 1 ½ stories; 1922(v); side hall; Arts and Crafts bungalow; gable roof with bracketed eaves and exposed rafter ends; gable-roofed front dormer; side bay window; art glass; verandah under main roof, with peaked-arch entablature, on battered brick piers; Robert Endean, nurseryman; 2 trees east of house; one tree south of house; one tree west of house.

4 AC Res*

same facade as 35 Wright Street with mirrored floor plan - another Endean family house

**104 Richmond Street, Mrs. Peter Bassingthwaite House****WP**

Brick; red; 1 ½ stories; c1913(v); 3-bay; Arts & Crafts; gable roof with exposed rafter ends; hip-roofed porch; brick 1 ½ storey rear wing; Mrs. Peter Bassingthwaite, widow.

4 AC Res***110 Richmond Street, Gordon H. Sloan House****WP**

Frame; red brick veneer; 1 storey; 1922(v); side hall; Arts and Crafts bungalow; gable roof with pent eaves and exposed rafter ends; shed-roofed front dormer; enclosed sunporch under main roof; G. Sloan; three trees north of house.

4 AC Res*

**118 Richmond Street, Grace Southmayd House****WP**

Frame; multi-coloured brick veneer; 1 ½ stories; 1922(v); Arts and Crafts; gable roof with bracketed eaves; gable-roofed front dormer; transomed front window; square side bay window; shed-roofed verandah on tapered square posts on brick pedestals; Gordon H. Sloan for Grace Southmayd.

4 AC Res***12800 Yonge Street, Mitchell House**

Cobblestone and frame; 1 ½ stories; c1922(v); gable front; Arts and Crafts; gable roof with bracketed eaves; shed and gable-roofed side dormers; stone chimney; decorative half timbering; one tree south of house; one tree east of house; two trees north of house.

1 A Res***13580 Yonge Street,**

Frame; aluminum siding; 1 storey; c1920; Arts and Crafts bungalow; hip roof; gable-roofed front dormer; roof extends to form verandah; stone chimney; three trees north of house; one tree west of house.

1 A Res / Rur***35 Wright Street, Harry Endean House**

Frame; orange brick veneer with wood-shingled upper storey; 1 ½ stories; c1921(v); side hall; gable-roofed front dormer; shed-roofed verandah with peaked arches and grouped square posts on brick pedestals; Edith and Harry Endean; one tree south of house

4 A Res*

subject property

Appendix 3 **Qualifications of the Author**

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON

1977 - present President, The Landplan Collaborative Ltd., Guelph, ON

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Planning and Conservation Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -

Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -

Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)

Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award 2016 Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural Heritage Landscapes

National Award 2016 Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes

Mike Wagner Award 2013 Heritage Award - Breithaupt Block, Kitchener, ON

People's Choice Award 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

Award of Excellence 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

National Award 2009 Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON

Award of Merit 2009 Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2007 Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement

Award 1998 Province of Ontario, Volunteer Award (10 year award)

Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 CSLA Awards, Britannia School Farm Master Plan

National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan

Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 *Progressive Architecture*, The Ceremonial Routes (Confederation Boulevard), Ottawa,

National Citation 1985 CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Selected Heritage Publications:

Scott, Owen R., *The Southern Ontario "Grid", ACORN Vol XXVI-3, Summer 2001. The Journal of the Architectural Conservancy of Ontario.*

Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries.* Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.

Appendix 3 **Qualifications of the Author**

- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries.* (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. *Cemeteries: A Historical Perspective, Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. *The Sound of the Double-bladed Axe, Guelph and its Spring Festival.* edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. *Woolwich Street Corridor, Guelph, ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. *Heritage Conservation Education, Heritage Landscape Conservation, Momentum 1989*, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. *Cultivars, pavers and the historic landscape, Historic Sites Supplies Handbook.* Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. *Landscape preservation - What is it? Newsletter, American Society of Landscape Architects - Ontario Chapter*, vol. 4 no.3, 1987.
- Scott, Owen R. *Tipperary Creek Conservation Area, Wanuskewin Heritage Park. Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. *Victorian Landscape Gardening.* Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. *Canada West Landscapes. Fifth Annual Proceedings Niagara Peninsula History Conference (1983).* 1983. 22 pp.
- Scott, Owen R. *Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. *Changing Rural Landscape in Southern Ontario. Third Annual Proceedings Agricultural History of Ontario Seminar (1978).* June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. *George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. *The Evaluation of the Upper Canadian Landscape.* Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Heritage Master Plans and Landscape Plans

- o Alton Mill Landscape, Caledon, ON
- o Black Creek Pioneer Village Master Plan, Toronto, ON
- o Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- o Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- o Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- o Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- o Downtown Guelph Public Realm Plan, City of Guelph, ON
- o Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- o Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- o Exhibition Park Master Plan, City of Guelph, ON
- o George Brown House Landscape Restoration, Toronto, ON
- o *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- o Greenwood Cemetery Master Plan, Owen Sound, ON
- o Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- o John Galt Park, City of Guelph, ON
- o Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- o Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- o London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- o McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- o Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- o Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- o Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- o Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- o Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- o Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- o Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- o Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- o St. George's Square, City of Guelph, ON

Appendix 3 **Qualifications of the Author**

- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report, Southgate Twp., ON
- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Bridge #9-WG Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Bridge #20 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/ Bowmanville, ON
- Holland Mills Road Bridge Cultural Heritage Evaluation Report, Wilmot Township, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- Uno Park Road Bridge, Cultural Heritage Evaluation Report, Harley Township, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo

Heritage Impact Assessments (HIA) and Cultural Landscape Heritage Impact Statements

- Adams Bridge (Structure S20) Heritage Impact Assessment, Southgate Township, ON
- 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- William Barber House, 5155 Mississauga Road, Heritage Impact Assessment, Mississauga, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- Bridge #20 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON

Appendix 3 **Qualifications of the Author**

- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 369 Frederick Street Heritage Impact Assessment, Kitchener, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- Holland Mills Road Bridge Heritage Impact Assessment, Wilmot Township, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Uno Park Road Bridge, Heritage Impact Assessment, Harley Township, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 272-274 Victoria Street Heritage Impact Assessment, Mississauga, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON

Appendix 3 **Qualifications of the Author**

Heritage Conservation Plans

- William Barber House, 5155 Mississauga Road , Heritage Conservation Plan, Mississauga, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON
- 14288 Yonge Street Heritage Conservation Plan, Aurora, ON
- 1123 York Road Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON

Expert Witness Experience

- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010
- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016



35 Wright Street (Harry Endean House)

Draft Statement of Cultural Heritage Value or Interest

The subject property municipally known as 35 Wright Street (Harry Endean House) is recommended for designation under Part IV of the *Ontario Heritage Act* for its architectural/design, associative/historical and contextual value.

Associative/Historical Value

The property has direct associations with the economic development of Richmond Hill through the establishment and advancement of the nursery industry in Richmond Hill. Harry Endean together with his wife Edith had the house built around the time of their marriage in 1920 naming it at that time "Enfield". Harry together with his brother Robert took over their father's (Henry Endean) nursery business established in 1912 on Centre Street in Richmond Hill and soon transferred the business to a new location just north of Elgin Mills on Yonge Street as the Endean Brothers Greenhouses and Nursery. The business continued to operate into the 1970's and was an important flower business within the even larger nursery (known especially for rose cultivation) and sales employment sector in Richmond Hill. Harry Endean was important in and contributed to the local nursery industries and thereby the history of Richmond Hill since before World War One until his death in 1972. He and Edith were also involved in organizations committed to benefitting the Town, and were the parents of Frank Endean who became a well-known, long-standing Councillor in the Town.

The house reflects the work of a builder who is significant to Richmond Hill. The house was built by George S. Sims, a well-known contractor and builder, Councillor and Fire Brigade member (including Fire Chief in the Town). It is of further historical note that Harry's mother, Alice, and brother, Robert, also had Arts and Crafts bungalows built in the same time frame as Harry and Edith had theirs built.

Numerous personal ads placed by Mrs. Endean (Harry and Robert's mother) in the local newspaper throughout 1922 for the sale of houses on Centre Street suggest that she subdivided the former nursery lands on Centre Street, had houses built upon them and sold them as the buildings became ready for occupancy. This suggests that Alice Endean was an early developer in the Town.

Physical/Design Value

The house is typical of the Arts and Crafts Bungalow style. It is a representative example of the style and displays a high degree of craftsmanship evidenced by the remarkably good condition of almost all of its original exterior features. It is characterized by its long sweeping roof that takes in the front verandah with its supporting brick piers, double/triple columns and shaped verandah beam and open

rafter ends. The wood work on the verandah is original. The buff brick and well-struck mortar joints are in excellent condition and, with the exception of the chimney, show no sign of deterioration.

Contextual Value

The building is important in supporting the character of the immediate area in the Richmond Hill Village Core and is physically, visually and historically linked to its surrounding. The building sits between two buildings that were built in the same time frame (early 20th century) and retain their significant heritage qualities. A three storey school, built in 1924, located on the west side of the subject lands has been designated under Section 29 of the *Ontario Heritage Act* (OHA) by By-law 1-98 and a house, built circa 1918, located to the east of the subject lands is considered a unique and well-preserved example of a two-storey Arts and Crafts style. Richmond Hill's former Town Hall (and High School) at 10266 Yonge Street, built in 1897, has a side wall on Wright Street just to the east of the subject lands. The subject building provides a continuum within this localized heritage character.

Description of Heritage Attributes

Key exterior attributes that contribute to the design value of 35 Wright Street (the Harry Endean House) include the following:

- The composition of the house c.1920 as a typical Arts and Crafts Bungalow;
- The brick veneer with segmental window and door arches and voussoirs;
- The brick chimney;
- Open eaves and rafter tails allowing view of original wood decking boards and trim;
- Shingle cladding on side eaves and dormer;
- All original wood windows including plain lower sashes, divided-lite upper sashes, frames and storms;
- All original doors;
- Front verandah including brick piers supporting double wood columns, wood railings and skirting boards, shaped wood beams, open rafter ends, wood ceiling, wood flooring, wooden stairs and pendant lamp in front of front door.

SPECIFICATIONS of material and labour to be used and employed in the erection
of a brick veneer and frame house for *Edith Littlefield* at Richmond Hill.

BASEMENT - Contractor will do the necessary excavating for the basement to the depth and size required; he will lay in all materials necessary for a cement foundation and build walls to sizes and dimensions as shown on plan. All outside walls to be plastered with cement, mixed 3 to 1, from bottom to height of ground line. Lay around outside wall-footings 3-inch weeper tiles to run to outlet to nearest point that can be obtained for good drainage.

BRICKWORK - Build all outside wall of good quality strong flashed Buff Brick to height shown on plan. Brick to be well laid in good lime mortar of suitable color to owner and to be well wetted before being laid up and joints neatly struck.

CHIMNEY - To be built the entire length of good quality stock brick, all work above the roof line to be laid in cement mortar, all below roof line to be laid in good strong lime mortar. Top to be finished with 5-inch concrete cap. Flues to be 9" x 9", to be plastered inside the entire length with good strong mortar, outside stucco.

FIREPLACE - Will build fireplace in living room, as shown on plan, of red stock brick laid up in white putty mortar, neatly struck joint, and will provide and set proper damper for same.

VERANDAH - As marked on plan. Joists to be at least 2 x 8 - 18" on floor to be of good white pine.

LATHING AND PLASTERING - Lath all interior partitions, ceilings, etc., with good $\frac{3}{8}$ -inch sawn lath. Plaster all walls, ceilings, etc., with two coats plaster; first coat to be continued through behind all base down to floor line and to be composed of well slacked lime, clean sharp sand, and cow hair; second coat, putty finish, brought to a smooth hard surface.

WOODWORK - The whole of construction material, including sills, plates, studdings, joists, rafters, outside sheathing, roof boards, or any material used for construction purposes to consist of firstclass hemlock, free from large loose knots or other imperfections that injure its strength or durability. The exterior

finished woodwork to be of No. 1 quality, reasonably dry, sound white pine or spruce, neatly dressed and left in firstclass manner to receive paint or stain. Joist on ground and first floor to be 2 x 8, set on 16" centres, doubled under partitions, and trimmed around chimney and well-hole. All studding, plates, rafters, collar ties, to be 2 x 4, spaced at 16" centres. All studs at corners and openings doubled.

FRAMES - All windows to be made 7/8" Jams, 1 3/4 sill, with underside grooved and fitted with drip. All outside casings 7/8 x 3 3/4 wide, and all frames to have cap for weather drip. All outside door frames to have 1 3/4 solid rebated jams for 1 3/4 door, and all inside door frames to be 1-inch Jams full width of finished partitions and have 1/2" x 1 3/4 plain door stops nailed on.

INTERIOR WOODWORK - The floors for living room, dining room, and hall to be 7/8 birch, 2-inch face. All other floors to be ~~7/8~~ 7/8 spruce, matched 3 1/2" face. The base in living room, dining room, hall, and stair platform to be 7/8 x 8 B.C. fir wood for staining. All casings in living room, dining room, and hall to be 7/8 x 3 3/4 B.C. fir, moulded edge and back band; all other casings to be 7/8 x 3 3/4 moulded. Stairs to be cypress, treads to be birch, simple metal post, hand rail and balusters running from platform to first floor and around well-hole.

SHINGLES - Cover the whole of roof boards together with walls of dormers, as shown on plan, with XXX British Columbia cedar shingles, laid 4 1/2 to the weather on tarred felt.

ELECTRIC WIRING - Will supply and set up all necessary cut-outs, switches and a apparatus of whatever kind may be required to complete the work strictly in accordance with the rules and regulations of the National Board of Fire Underwriters and subject to the approval of the owner.

GUTTER - Will provide and set up 4-inch galvanized iron gutter to eaves, as shown, properly secured in position and having gradual fall to outlets connected to 3-inch conductor pipes.

GLAZING - All sash to be glazed with best quality star glass.

PAINTING - The whole of the exterior dressed woodwork will be knotted, primed, then the whole, including galvanised ~~iron~~ ironwork, will be painted with two good coats of best quality white lead and pure linseed oil, of approved colours.

INTERIOR - All cypress will be stained and then finished with two coats of Flattine cabinet finish, well rubbed down between coats with fine steel wool. The birch floors will be oiled, well rubbed off, and finished with wax finish. The remaining interior woodwork will be knotted, primed, and then painted with two coats of white lead and pure linseed oil of approved colours.

HEATING - Contractor to install a hot air furnace of large enough size so that house can be heated to 70 degrees when thermometer is ^{at} a Zero or lower. All risers to be installed as the house is being built and covered with good quality of asbestos paper. Registers to be of good standard design. All work to be well and properly done.

Plumbing

All water piping to be of best quality galvanised iron pipe screwed joints of standard weight and thickness all fittings to be standard and galvanised

All soil and waste pipes shall be cast-iron. All cast-iron pipes soil and waste shall be of medium weight clean and free from cracks + scale. Pipes shall have all necessary bends offsets and of junctions. All joints in cast-iron shall be made with picked oakum and molten lead perfectly gas and water tight.

Traps to W.C.'s basins sinks etc shall be installed to requirements of fixture and placed as near fixture as possible.

approximate cost \$2500⁰⁰

