

HERITAGE IMPACT ASSESSMENT

880 19TH AVENUE, RICHMOND HILL, ONTARIO

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CHAIN OF TITLE

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1.0 Introduction and Purpose of Report

The owner of 880 19th Avenue, Richmond Hill wishes to demolish the existing dwelling and replace it with a new dwelling at the same location. The existing dwelling, built in mid-1800's, is listed on the Town of Richmond Hill's "Inventory of Buildings of Architectural and Historical Importance" with the following description:

"Frank Dolan House – frame, aluminum siding, 2 storey, 19th century, 2 storey Ontario farmhouse".

Town policy requires a Cultural Heritage Impact Assessment whenever an application to demolish a designated or listed property is submitted.

This report is written in accordance with the Terms of Reference for such assessments as updated on Dec. 4, 2012.

2.0 Description of Subject Property

The subject property is located on the north side of 19th Avenue at the north end of Richmond Hill, approximately 300 m east of Bayview Ave. The legal description is "part of the west ½ of Lot 31, Concession.2, Geographic Township of Markham". A long, narrow property, it has a frontage of 53.5 m on 19th Ave., with a depth of approximately 210 m and an average width of 43 m. A small tributary of the Don River meanders through the property in a north-south direction, just west of the existing dwelling. The property is quite flat and has a dense row of deciduous trees parallel to the 19th Ave. frontage, effectively screening the dwelling from the road.

The Tremaine map of 1860 shows the property as part of a 100-acre farm owned by William G. Klinck and the York County Atlas of 1878 shows it as part of the same holding owned by John Klinck.

3.0 History of Richmond Hill

The village of Richmond Hill was founded about 1801 when Abner Miles, an innkeeper and merchant from York, settled on the lots on each side of Yonge St. at Major Mackenzie Dr. (which was then known as Vaughan Rd. on the west side and Markham Rd. on the east side). He established an inn, store and ashery, thereby creating a nucleus for future development. Between 1810 and 1830, the village began to take shape as James Shaw recognized the need for small frontages along Yonge St. north from Major Mackenzie. By 1830, the core of the village contained two inns, two blacksmiths, a general store, a chairmaker, a shoemaker and possibly a bakery, as well as a church, cemetery and school.

The name "Richmond Hill" was likely taken either from a visit by the Duke of Richmond to the area in 1819 or from a local teacher's home town (Richmond) in Surrey, England.

The 1830's witnessed the development of the Yonge St. frontage on the west side of the village both north and south of Centre St. The first post office, another inn and two more general stores opened during that decade. By 1850, a village had taken shape from Major Mackenzie to Wright and Dunlop Streets. The side streets of Arnold, Centre East and West, Richmond, Wright and Dunlop (William St. at that time), Elizabeth and Church Streets had been constructed.

The three decades between 1830 and 1860 were years of growth throughout Richmond Hill and in 1873 the community was incorporated as a village. However, economic stagnation affected the village in the 1870's as new industry by-passed the village when the railway was built several miles to the west. The local economy rebounded, however, with the coming of the radial railway line in the 1890's and the Canadian Northern Railway in 1906.

William J. Lawrence established his greenhouses in Richmond Hill around 1912, then encouraged other florists to move into the community, putting Richmond Hill on the map as the rose-growing capital of Canada. The first residential subdivision was registered in 1910, and as its lots were developed, the community of Richvale evolved. Lake Wilcox became a favourite summer retreat, with small cottage lots proliferating.

The Twenties were featured by several notable infrastructure improvements in the municipality, including a new arena (1923), water works (1921); and the high school (1924). The Village population increased over 20% during this decade, from 1055 to 1295. A number of firsts were recorded: the first Fire Chief was appointed in 1921; the first gas pump was installed on Yonge St.; and bus service started in 1924. (A radial railway had been in operation connecting Toronto with Lake Simcoe since the 1890's.) Yonge St. became a provincial highway in 1920 and was paved for the first time in 1923. Shortly afterward, automobiles took precedence over the railway and the radial service was cut back by 50%.

Following several decades of steady growth on both sides of Yonge St., in 1957 the Village became a Town.

With the advent of regional government in 1971, Richmond Hill saw a huge expansion in size, from 1944 acres to 24,129 acres, as it annexed major portions of Markham, Vaughan, King and Whitchurch townships.

The subject property is located within the area that was annexed from the northwest corner of the former Township of Markham. Because of its location (approximately 3 km northeast of the original village) it never formed part of, or was directly associated with, the Town of Richmond Hill.

4.0 History of the Subject Property

Lot 31, Concession 2 was patented from the Crown in 1804 by William Berczy, who was responsible for settling many German-speaking families in Markham in the late 18th century. After securing the patent, Berczy sold the land to William Allen, later the Honourable William Allen.

William Allen sold the west half of Lot 31 to John Duggan in 1824 for 25 pounds. Five years later, Duggan sold the one hundred acres for 50 pounds to farmer William Graham Klinck and his wife Catharine. In 1857, the Klincks also acquired the west half of Lot 33 to the north, which they divided into north and south halves and sold to Joseph A. and John W. Klinck.

It would appear that the existing dwelling on the property was built before 1873, since according to Land Registry Office records the lot increased in value from 187 pounds in 1839 to \$1,237 in 1873. Dwellings on both lots 31 and 33 are indicated on both the 1860 Tremaine and 1878 Miles & Co. maps for Markham Township.

In 1876, William transferred Lot 31 to John Klinck and his wife Magdalen. John, born in 1837, and Mary were farmers of German background and Methodist faith. According to the 1901 census, John held the one hundred acres in lot 31, plus two village lots, and two dwelling houses.

In 1905, a swath of land in lot 31 running in a northeasterly direction, crossing Bayview Avenue, was acquired by the James Bay Railway Company (a predecessor of the CNR) in order to build its mainline from Toronto to North Bay.

The rectangular 0.9 ha (2.2 ac.) subject property, presently owned by Shou Hao Liu, was created on Dec. 30, 1948 by consent of the Markham Township Planning Board.

Appendix 'A', the Chain of Title, lists all the owners of the lot since the original Crown Patent.

5.0 Description of Heritage Resource

5.1 Architectural Evaluation

The existing house at 880 19th Avenue, Richmond Hill is estimated to be originally constructed around 1845. Over the years it has been renovated. A greenhouse addition has been constructed at the south end of the building. A north addition includes a corridor and family room. It is not designated, under Part IV of the Ontario Heritage Act.

The original house is two storey with a basement. It has a porch wrapping around the northwest corner. A red brick chimney is located at the west elevation. The roof is pitched with gable ends and is constructed of wood framing with asphalt shingles with prefinished aluminum soffits, gutters and rainwater leaders. The original exterior walls have been covered with prefinished white aluminum horizontal siding. The single storey north addition is clad with prefinished white horizontal vinyl siding. Original windows have been replaced with fixed and awning type windows with muntins. The original south elevation has been modified to add the greenhouse with wood frame windows glazed sloped roof, and sliding aluminum glass doors.

5.2 Condition Assessment

The existing wood framed house has stone rubble foundation walls covered in parging. Wood logs and beams provide the support for the wood planked first floor. The second floor and roof are also wood frame construction. The second floor corridor floor is not level; it slopes from one room to the next.

The interior of the house contains a combination of wood flooring for living/dining spaces and ceramic tile for kitchen and washroom areas. Modifications over the years have added new ceilings and light fixtures.

The existing house is set back from the street around 125 m (410') from 19th Avenue, so it cannot be seen from the street, due to dense tree coverage. There are no important design elements to be preserved.

6.0 Statement of Cultural Heritage Value

Ontario Regulation 9/06 sets out the criteria for determining cultural heritage value or interest, which is the yardstick for deciding whether a property should be designated or not. It states that a property *“may be designated under section 29 of the [Ontario Heritage] Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:*

1. *The property has design value or physical value because it,*
 - i. *Is a rare, unique, representative or early example of a style, type, expression, material of construction method,*
 - ii. *Displays a high degree of craftsmanship or artistic merit, or*
 - iii. *Demonstrates a high degree of technical or scientific achievement.*
2. *The property has historical value or associative value because it,*
 - i. *Has direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - ii. *Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - iii. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
3. *The property has contextual value because it,*
 - i. *Is important in defining, maintaining or supporting the character of an area,*
 - ii. *Is physically, functionally, visually or historically linked to its surroundings, or*
 - iii. *Is a landmark.*

In evaluating the subject property against this criteria, we would comment as follows:

1. The property is a typical, though not remarkable, example of a mid-1800's Ontario farmhouse that has been extensively renovated over the years. Very few of its original heritage attributes are visible from the outside and it does not display a high degree of craftsmanship, artistic merit, technical or scientific achievement.
2. Researching the property at the local history room of the Richmond Hill Public Library revealed no historical or associative value. We were unable to determine the actual date of construction, the name of the builder, or any documentation on any other previous owners of the property (see Appendix 'A', Chain of Title for this record.) Although the dwelling is referred to in the Inventory as the "Frank Dolan House", his name does not appear on the title search and we therefore assume that he was the original builder.
3. We are not aware of any contextual value associated with the property, particularly because it is not located within a village, hamlet or cluster, but is simply one of several estate-type residential lots fronting on to 19th Avenue.

In conclusion, we do not find that the subject property meets the criteria for designating it under section 29 of the Ontario Heritage Act.

7.0 Description of Proposed Development

The proposed development for 880 19th Avenue, Richmond Hill is to demolish the existing house, retain the footprint of the existing foundation, and build a new larger home in its place with new concrete foundation walls.

The exterior elevations are historical in appearance, similar to a French chateau, with a combination of high pitched and mansard roofs with asphalt shingles and dormer windows. The west elevation includes a main entrance portico and covered porch with an arched colonnade with balcony above. Windows are a variety of rectangular individual openings with muntins. Exterior materials include stone, limestone and precast concrete. A cultured stone fireplace chimney replaces the original brick chimney.

The south elevation includes a stone and glass “green room (to include plants)” with balcony above, opening onto an outdoor deck. A limestone feature pilaster surrounds windows on the first and second floors.

The east and north elevations use the same materials as noted above. Overall the new house will be an improvement to the existing house in terms of energy efficiency and durability of materials. The new house on the site will be an enhancement to the neighbourhood.

Based on the elevations presented, we feel the new home will be a welcome addition to the Town of Richmond Hill.

8.0 Evaluation of Impact of Proposed Development

Since the proposed development at 880 19th Avenue, Richmond Hill is isolated from neighbouring properties, the impact of the new home to adjacent properties will be minimal. The new home cannot be seen from the street, since it is set far back from 19th Avenue, behind an existing heavily treed area.

The owner is proposing to retain the footprint of the existing foundation as part of a new larger home with historical elevations. We feel this will be a complimentary addition to the Town of Richmond Hill.

APPENDIX 'A'

TITLE SEARCH RECORD(CHAIN OF TITLE)

Municipal Address: 880 19 Avenue, Town of Richmond Hill, Reg. Mun. of York

Legal Description: Pt. Lot 31, Concession 2 (Markham)Pt. 1 Pl. 65R-12219, Except pts. 1 & 2 Pl. D939, Richmond Hill; PIN:03194-0530(LT)

Date of Search: Nov. 5, 2018

Instrument No.	Date	Grantor	Grantee
Patent	8 Sept. 1804	Crown	BEREZY, William
531(Markham)	16 Jan. 1805	BEREZY, William	ALLAN, William
4875	30 June 1824	ALLAN, William	DUGGAN, Joan
6969	29 Sept. 1829	DUGGAN, Joan	KLINCK, William G.
2360	6 Jan. 1876	KLINCK, William G.	KLINCK, John
12940(Will)	1 June 1912	KLINCK, John	KLINCK, Isaac
13276	27 May 1913	KLINCK, John ESTATE(by its devisee, KLINCK, Isaac)	BRITNELL, Edward
14196	28 Oct. 1916	BRITNELL, Edward	HALL, Alfred
23377	28 May 1942	HALL, Alfred	HALL, William J.
24272	31 July 1944	HALL, William J.	SULLIVAN, Joseph A.
27044	14 May 1948	SULLIVAN, Joseph A.	WELLS, Helen M. and Edward F.

Instrument No.	Date	Grantor	Grantee
44040	18 Sept. 1959	WELLS, Helen M.(surviving joint tenant)	PATERSON, Joseph J. and Kathleen
44341(correcting deed)	13 Nov. 1959	WELLS, Helen M.	PATERSON, Joseph J. and Kathleen
LT1501220(survivorship application)	14 July 2000	Re: PATERSON, Kathleen(deceased)	PATERSON, Joseph. J.
LT1501221	14 July 2000	PATERSON, Joseph J.	PATERSON, Joseph John and Joseph John
YR403649(survivorship application)	12 Dec 2003	PATERSON, Joseph John (deceased)	PATERSON, Joseph John
YR968783	4 April 2007	PATERSON, Joseph John	PATERSON, Joseph John and BELKIN, Bata
YR1198217	25 July 2008	BELKIN, Bata and PATERSON, Joseph John	YONG, Betty Siew-Lin and MEHAN, Sushrat
YR1790406	1 March 2012	YONG, Betty Siew-Lin (50% int.)	MEHAN, Sushrat(50% int., now 100% int.)
YR20445237	8 Oct. 2013	MEHAN, Sushrat	Liu, Shou Hao

FIGURES

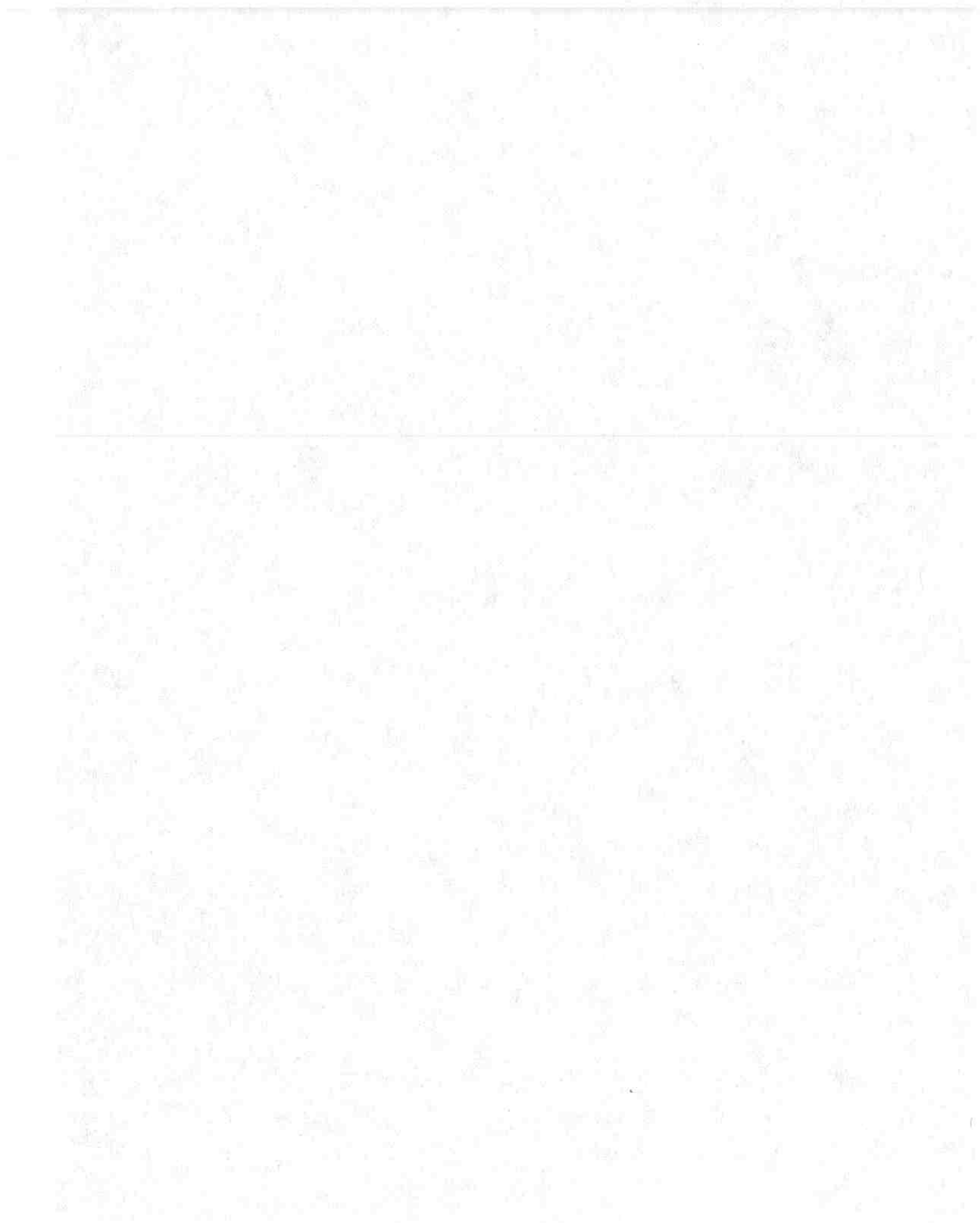


Figure 1 – Location Map



Figure 2 – Property Index Map

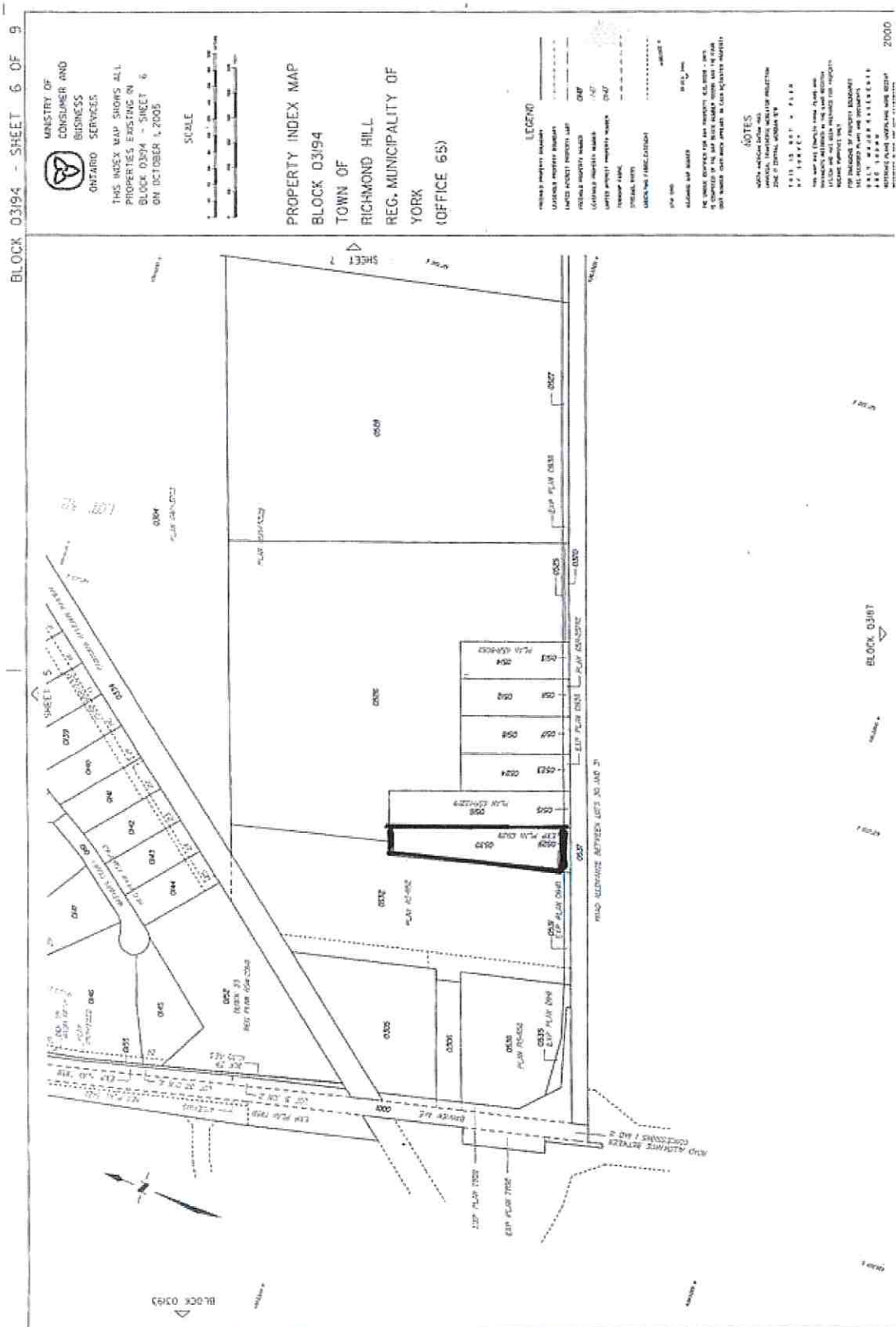


Figure 3 – Extract of Tremaine's Map (1860)

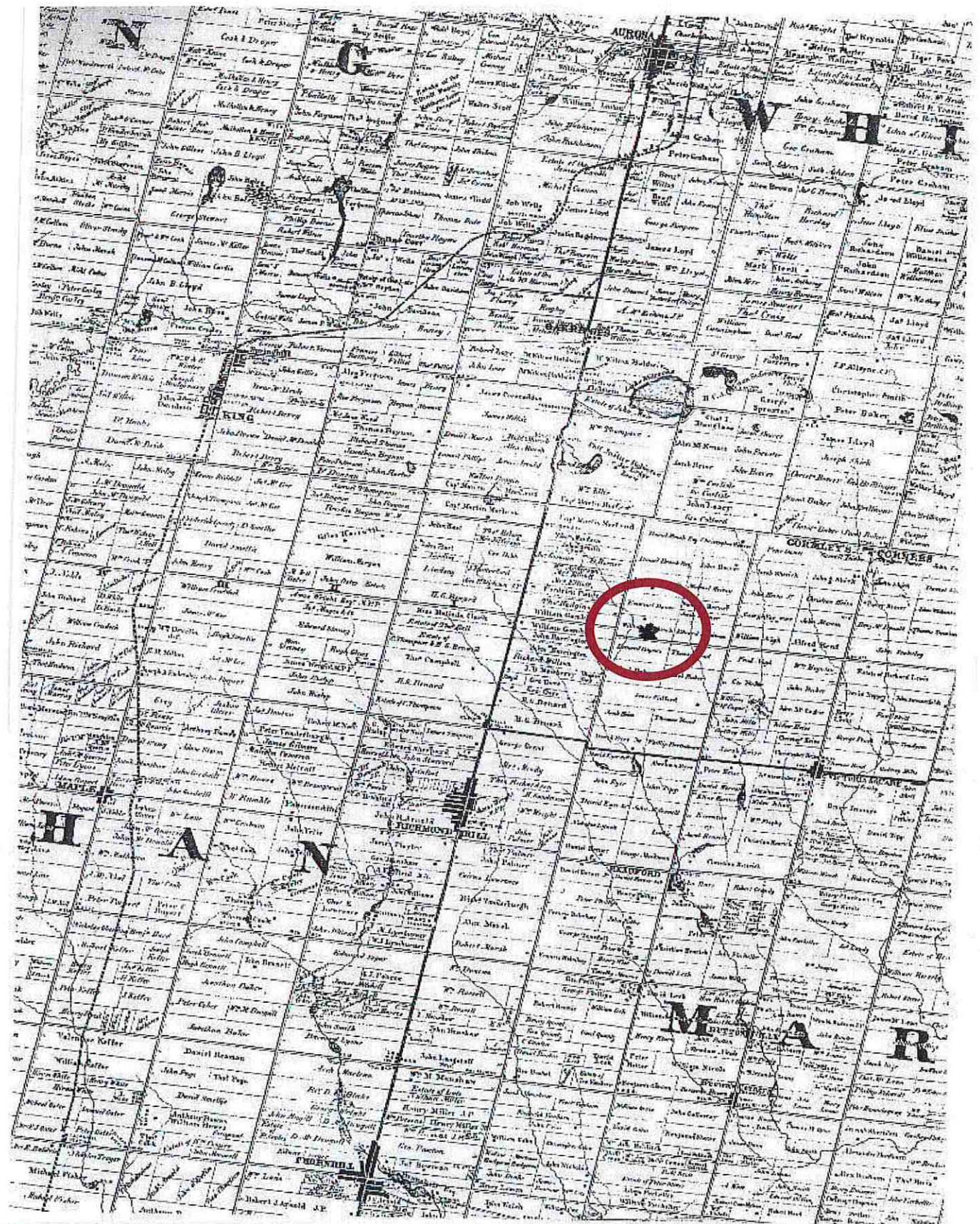


Figure 4 – Extract of York County Atlas (1878)

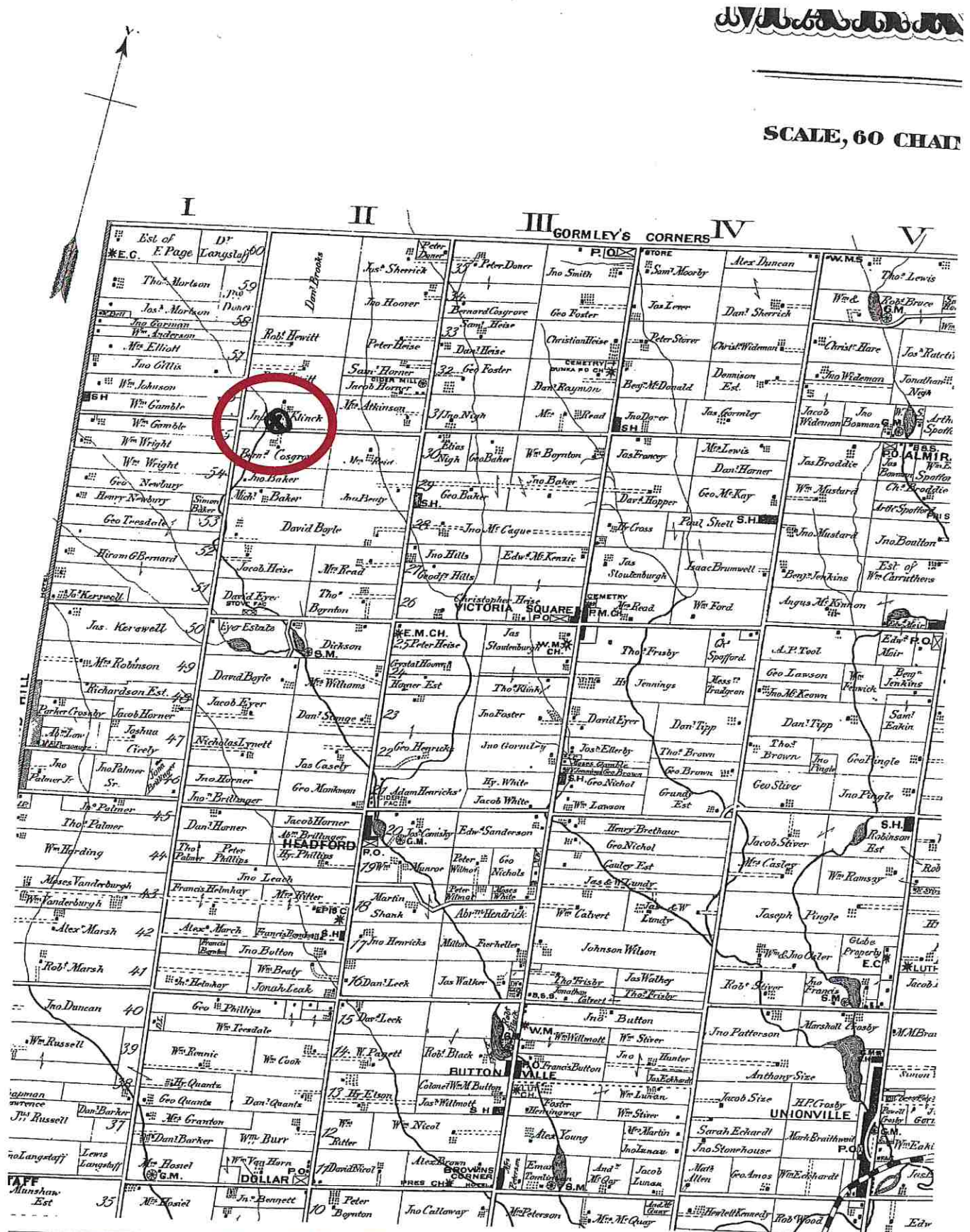
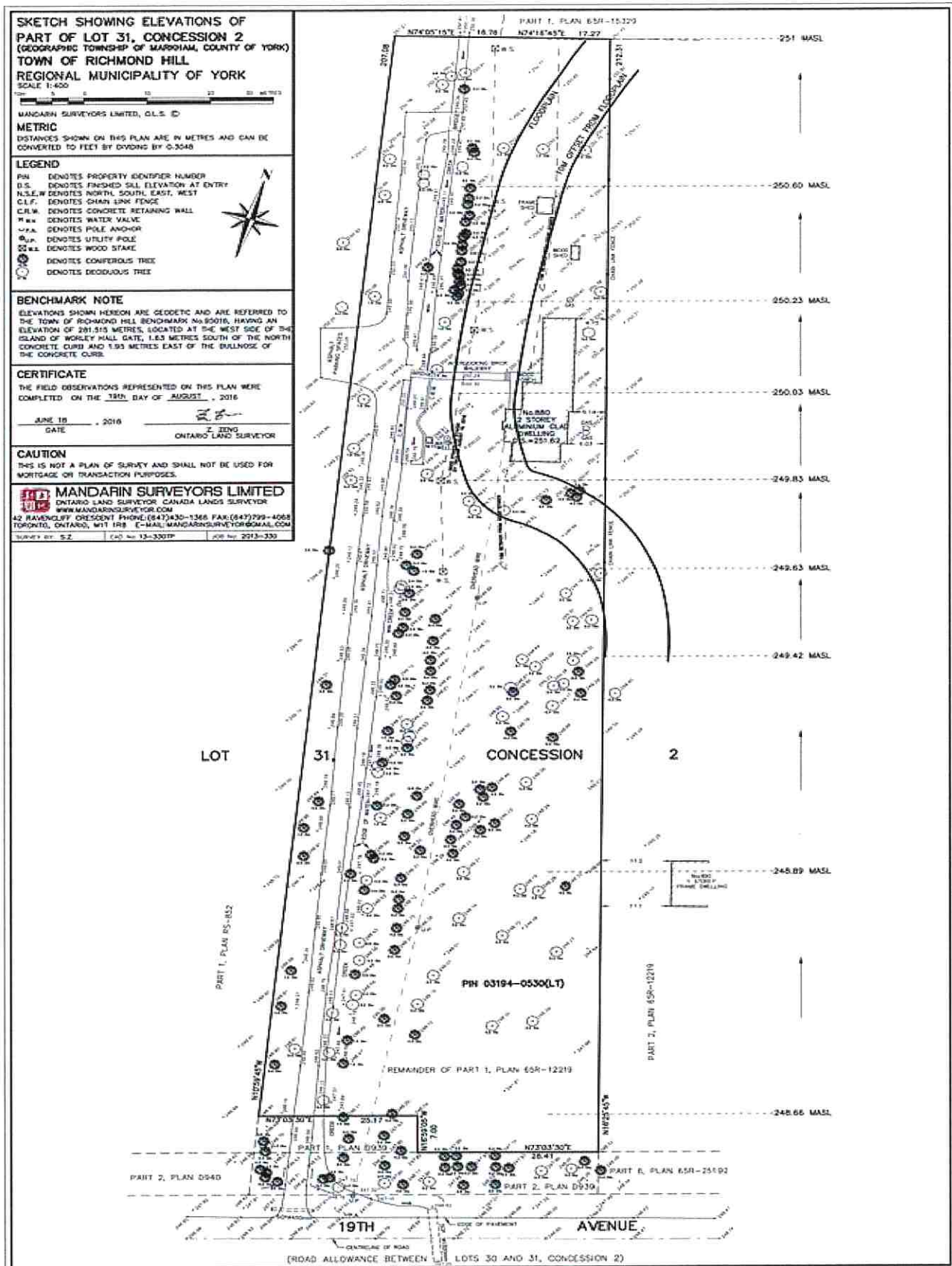


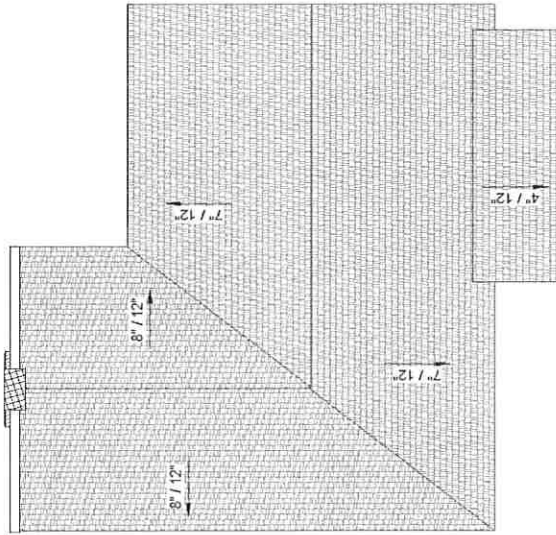
Figure 5 – Survey



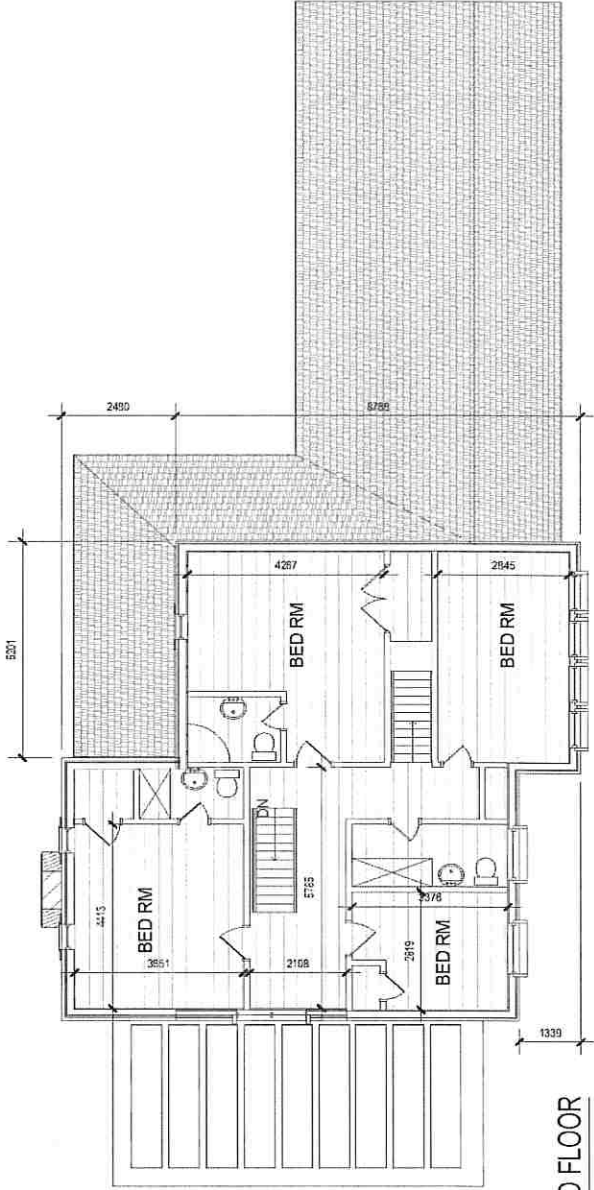
C:\Users\EliseBook\Desktop\Architecting Design Inc\2D_Project 2018\18_02_880 19th Ave\Working Drawings\18_02_880 19th Ave_BP.mtl 10/2/2018 3:39:34 PM



2 EXIST. ROOF
A2.1
SCALE: 1:100



1 EXIST. SECOND FLOOR
A2.1
SCALE: 1:100



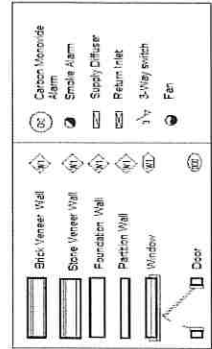
A2.1
EXIST. SECOND FLOOR

ARCHITECT		300 DENISON ST. UNIT 18 MIRAMICHI, NB E3B 2C4 F 506 654 2568 C 506 659 6299	
PROJECT NAME		HOUSE ADDITION	
PROJECT ADDRESS		880 19TH AVE RICHMOND HILL, ON	
DRWN	LI	DATE	DATE
DATE	DATE	DATE	DATE
SCALE	1:100	PROJECT NO.	1802

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR PERMIT	07/16/2018
2	ISSUED FOR SPA	08/12/2018

ALL DRAWINGS, SPECIFICATIONS AND NOTES ARE THE PROPERTY OF THE ARCHITECT AND MUST BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE OR MODIFICATION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE ARCHITECT'S OFFICE SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

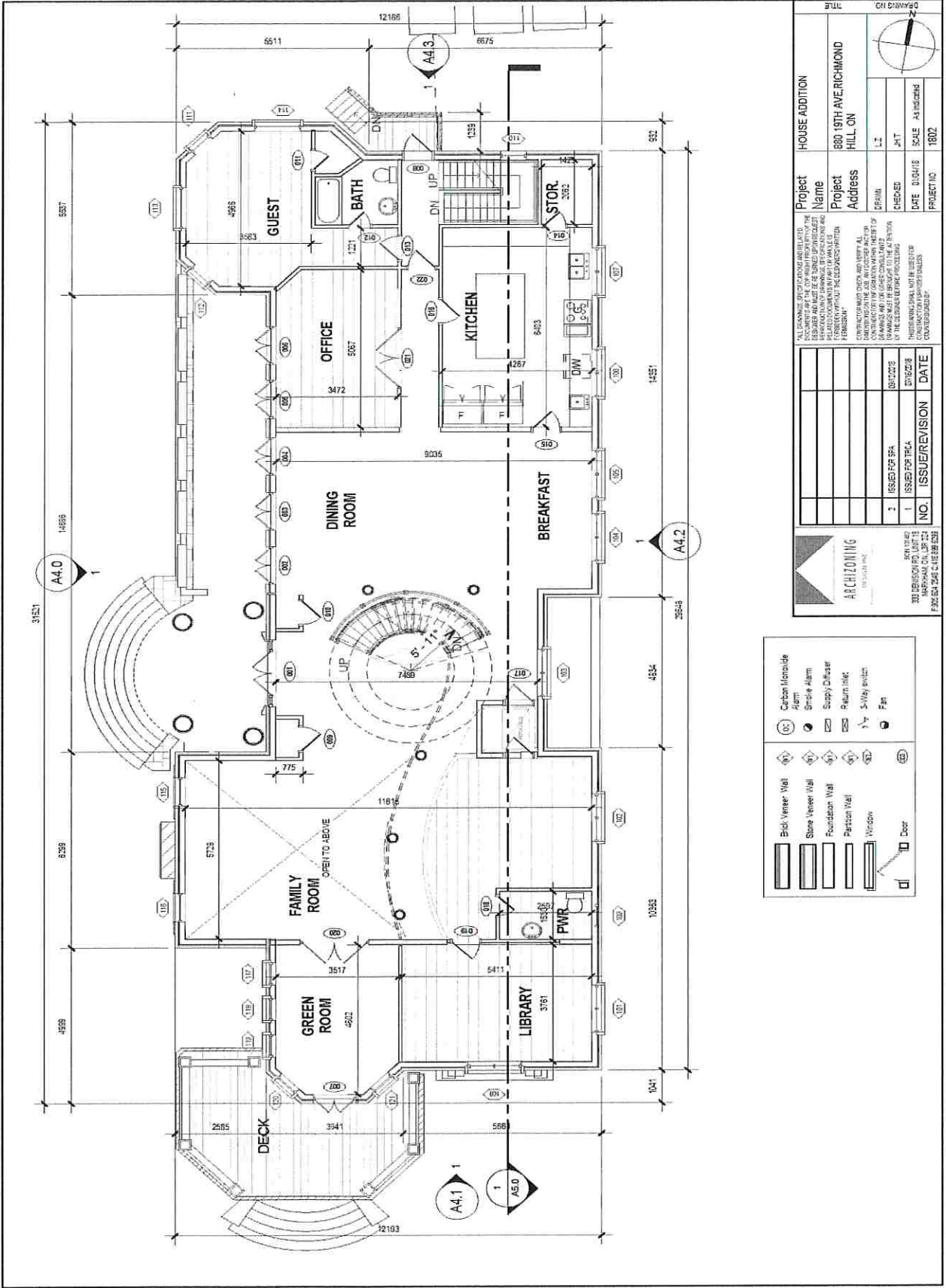


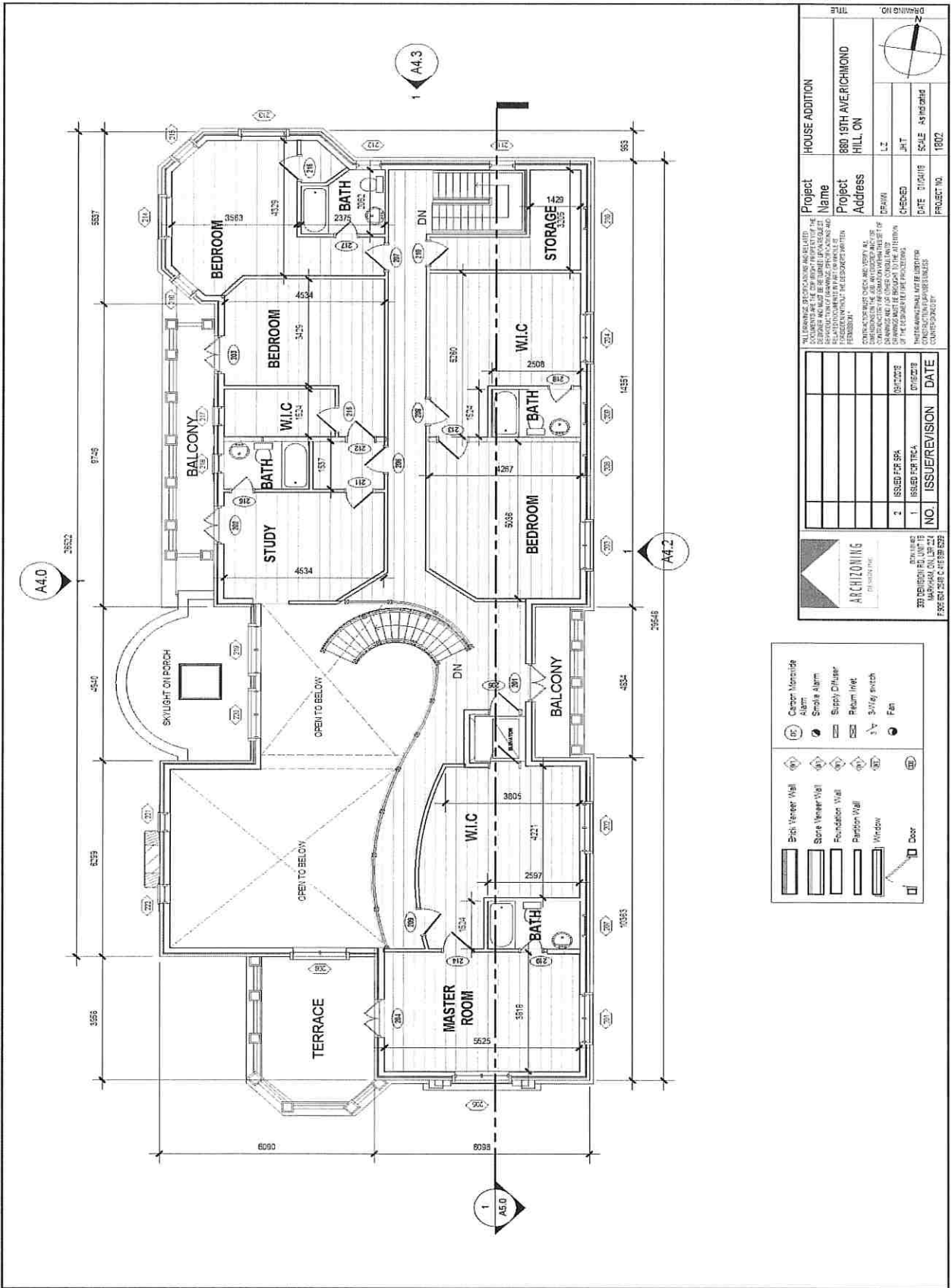


1. All construction and finishing materials that may be under water in the basement must be resistant to flood damage.
2. All valuable contents have been or can readily be relocated to a flood-free space above the flood protection level. If basement utilities cannot be relocated to a higher level, they can be protected by being placed in a watertight room or enclosure that is capable of withstanding water such as concrete.
3. Any electrical outlets should be relocated or elevated to higher areas on the wall above the flood protection level. If electrical outlets are in a danger of not being able to shut off the electrical power before the basement floods, relocation of outlets also includes the electrical service panel and the electrical service meter and the heating, ventilation, and air conditioning (HVAC) controls.

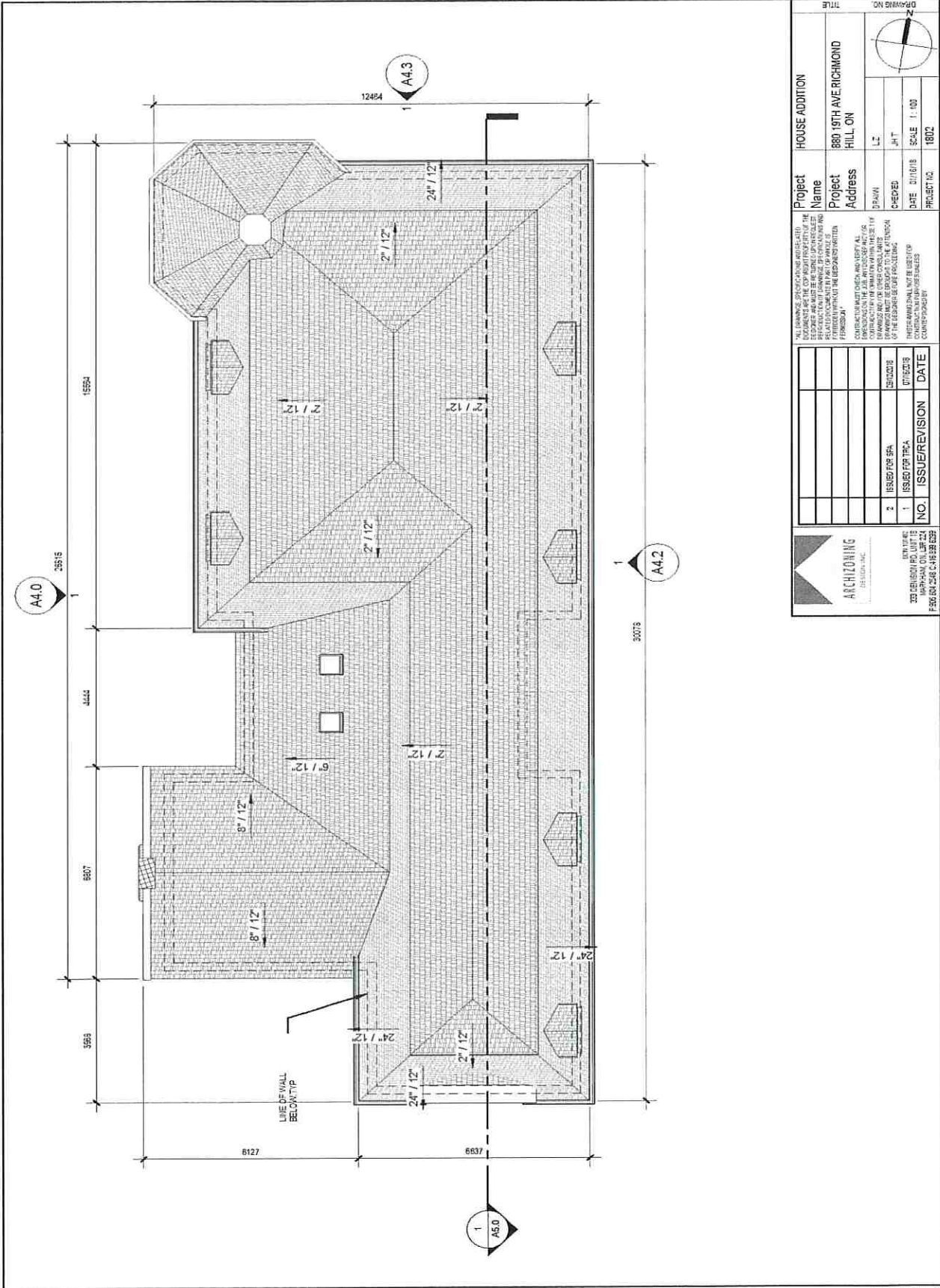
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<p>ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO'S ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>THESE DRAWINGS SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</p>	Project Name	HOUSE ADDITION			
	Project Address	880 19TH AVE. RICHMOND HILL, ON			
	DRAWN	L.Z.			
	CHECKED	J.H.T.			
	DATE	10-11-16	SCALE	As indicated	
	Project No.	1802			

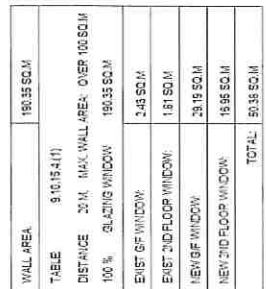




FIN. SECOND FLOOR



ARCHIZONING DESIGN INC.		PROJECT NO. 1802		DATE 01/16/18		SCALE 1:100		PROJECT NO. 1802		HOUSE ADDITION		880 19TH AVE RICHMOND HILL ON		TITLE					
<p>ALL ISSUES RELATING TO THIS SET OF DRAWINGS ARE THE PROPERTY OF ARCHIZONING INC. NO PART OF THIS SET OF DRAWINGS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHIZONING INC.</p>												PROJECT NO.		DATE		SCALE		PROJECT NO.	
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 ARCHIZONING RESIDENTIAL	333 PETERSON RD UNIT 118 MARIETTA GA 30067 (404) 565-2586 / (404) 565-6239	NO. 1	ISSUED FOR PERM	DATE 07/01/18	PROJECT NO. 18092	PROJECT NAME 880 19TH AVE RICHMOND HILL ON	HOUSE ADDITION	DRAWING NO. T115	PROJECT INFORMATION	
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WALL AREA:	75.27 SQ. M.
TABLE	9.10.14(1)
DISTANCE	30M, MAX WALL AREA OVER 100 SQ.M
100 % GLAZING WINDOW:	75.27 SQ.M
EXIST'GF WINDOW:	0.0 SQ.M
EXIST' 2ND FLOOR WINDOW:	0.0 SQ.M
NEW GF WINDOW:	4.61 SQ.M
NEW 2ND FLOOR WINDOW:	7.58 SQ.M
TOTAL:	12.19 SQ.M

[illegible]



WALL AREA	191.95 SQ.M
TABLE	9.10 (4.41)
DISTANCE	30 M. MAX WALL AREA OVER 100 SQ.M
100 % GLAZING WINDOW	191.95 SQ.M
EXIST G/F WINDOW	0.0 SQ.M
EXIST 2/F FLOOR WINDOW	0.0 SQ.M
NEW G/F WINDOW	17.50 SQ.M
NEW 2/F FLOOR WINDOW	11.45 SQ.M
TOTAL	28.95 SQ.M

[illegible]



WALL AREA:	79.03 SQ.M
TABLE:	9.10.15.4 (1)
DISTANCE 20M. MAX. WALL AREA: OVER 100 SQ.M	
100 % GLAZING WINDOW	79.03 SQ.M
EXIST OF WINDOW	0.05 SQ.M
EXIST 2ND FLOOR WINDOW	0.05 SQ.M
NEW GF WINDOW	4.47 SQ.M
NEW 2ND FLOOR WINDOW	4.48 SQ.M
TOTAL	9.05 SQ.M

[illegible]

Figure 7A – South Elevation



Figure 7B – West Elevation



	333 DENSON RD. UNIT 18 MARCHAM, ONTARIO CANADA L3P 2Z8 F: 905.804.2548 C: 416.889.6299	WEST SIDE RENDERING HOUSE ADDITION	SD-1 DATE DD/2018	1/15/2018 10:09:11 PM
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Figure 8 (a) – Exterior Photographs



View North Toward Site from 19th Avenue



View from Site South Toward 19th Avenue



West Elevation



West Elevation



Southeast Elevation



East Elevation



North Elevation



Northwest Elevation

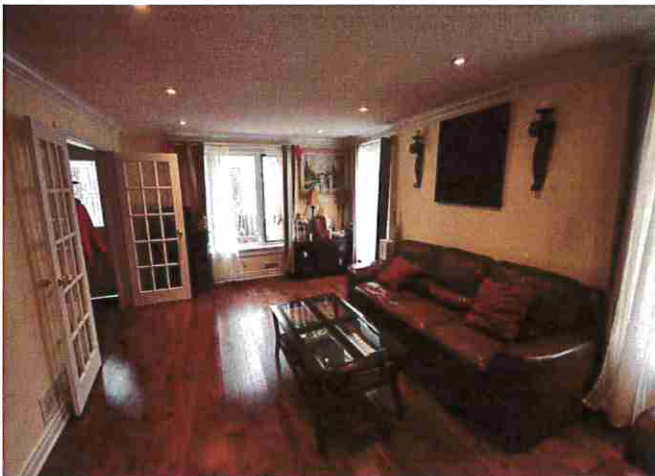
Figure 8 (b) – Interior Photographs



First Floor Dining Room and Stair



First Floor Kitchen



First Floor Living Room



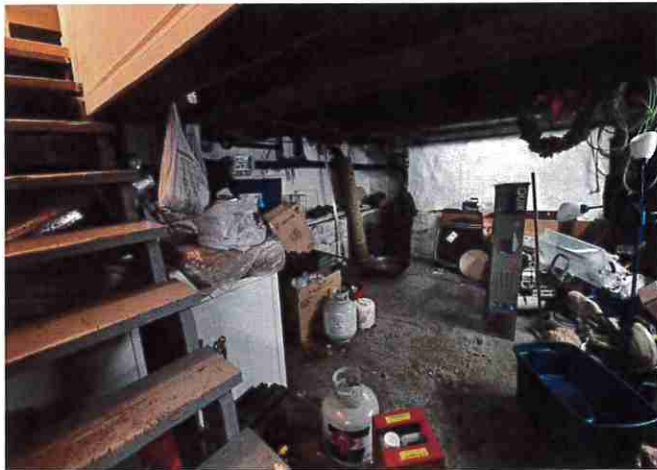
First Floor Greenhouse



Second Floor Stair Landing



Second Floor Bedroom



Basement Stair



Basement Electrical Panels