

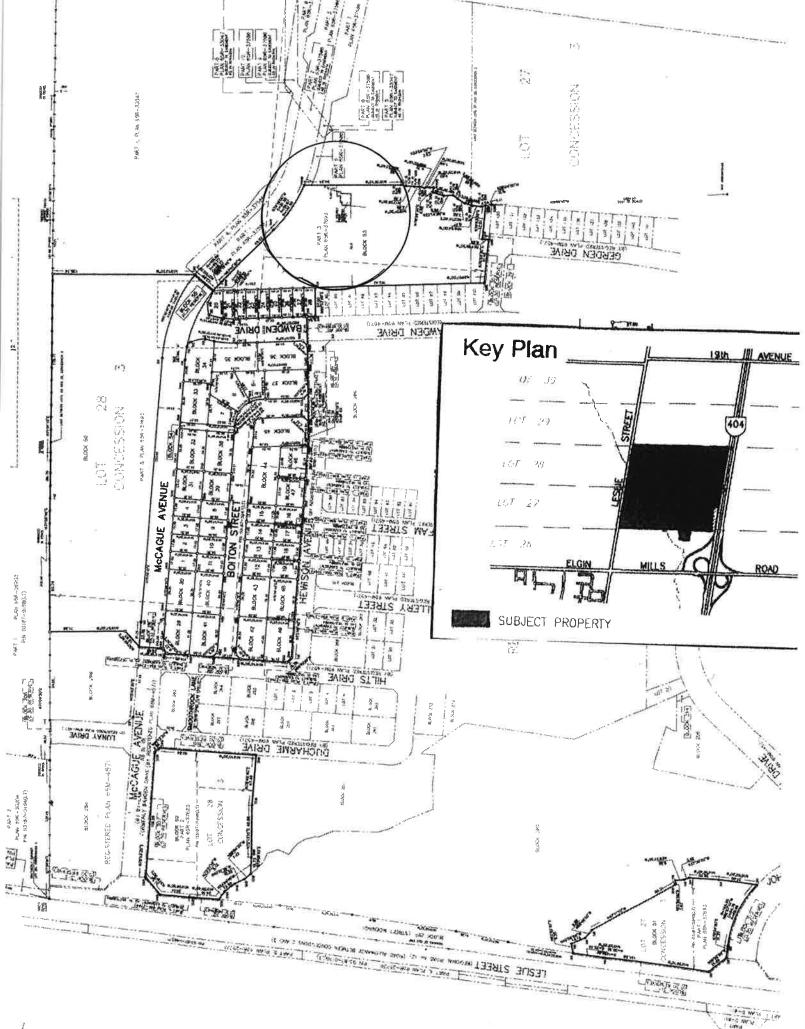
The "Jane McCague Farmhouse" Conservation Plan

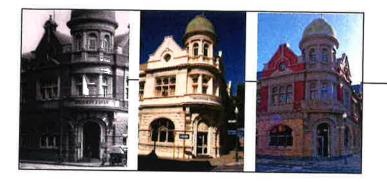
The "Jane McCague House Driveshed" Replication Plan 1) Key Plan

2) Comments by Wayne Morgan on the McCague Farmhouse and Drive Shed restoration plans.

3) Restoration cost estimates by Scott Rushlow for the McCague Farmhouse and Drive Shed

- 4) Engineering report by Cole Engineering on Drive Shed foundation
- 5) Cover sheets and construction notes for McCague Farmhouse
- 6) Drawings A1 to A17 for the McCague Farmhouse
- 7) Cover sheet and construction notes for Drive Shed
- 8) Drawings A1 to A9 for Drive Shed





## WAYNE MORGAN HERITAGE PLANNER

PO Box 1203, 21 Land's End Sutton West, Ontario LOE 1R0

(905) 722-5398 wayne.morgan@sympatico.ca

### COMMENTS

Project: Jane McCague House 11121 Leslie Street Richmond Hill, Ontario Conservation Plan No. 12–8b & 18-03

Drawings Reviewed: Conservation Plan, dated December 16, 2019, consisting of:

) =	
Notes:	Drawing Schedule Construction Notes Plot Plan
A1 – A2:	Exterior Elevations
A3:	Fascia / Soffit Details Chimney Details
A4:	Veranda Details
A5:	Front Entrance Details
A6 – A8:	Window Details
A9:	Foundation Plan
A10:	Ground Floor Plan
A11:	Second Floor Plan
A12:	Roof Framing Plan
A13:	Building Sections
A14:	Building Sections Interior Base Details
A15 – A16:	Interior Door Details
A17:	Interior Stair Details

Date: December 16, 2019

Background: In my revised and updated Cultural Heritage Impact Assessment for this property dated December 2015, in respect of a Conservation Plan, I recommended:

A Conservation Plan is required for the ... Jane McCague House ... Such Conservation Plans, which would be subject to municipal approval, would provide details of how the buildings will be conserved and readapted and how any adverse impacts on or deterioration of any of the heritage attributes of the buildings will be

Page 1 of 3

addressed. The Plan should include drawings and specifications and should address, among other matters:

- a. Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing...; and
- b. Interior conservation and rehabilitation work.

City Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

Conservation/Replication Plan Context:

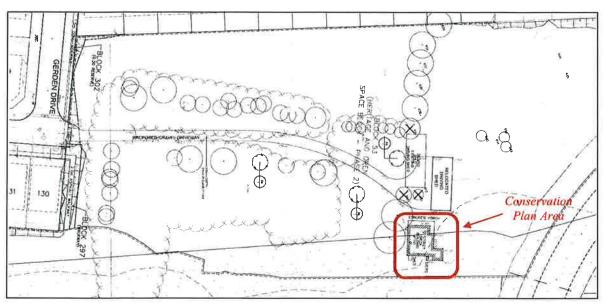


Figure 1 Conservation Plan Context Source: Part of Heritage House Landscape Plan prepared by the mbtw group, dated May 30, 2019.

#### Conservation

- Plan Area: The Conservation Plan prepared by Scott Rushlow applies only to the building known as the Jane McCague House, as shown in Figure 1, which is proposed to be retained in situ.
- Comments: When I last examined the House in 2015, it was in a reasonably good state and appeared structurally sound. It retains much of its original heritage fabric, although alterations had been made to the exterior including removal of the front (south) veranda, new east chimney and addition of a rear wing.

The Conservation Plan proposes to:

- remove the relatively recent rear wing, east chimney and existing from stoop;
- repair / rehabilitate various parts of the structure including existing window sash, selected masonry repairs and repainting of all exterior woodwork;
- replace the existing roof cladding with new asphalt shingles; and
- restore / reconstruct the front veranda and the east chimney.

The veranda and east chimney will be rebuilt using features which still exist on the House as templates. I note that the paint colours will be selected in consultation with the Richmond Hill Heritage Committee.

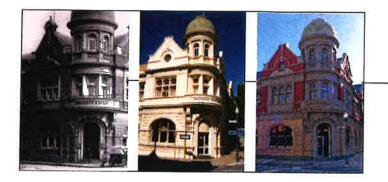
The Conservation Plan h is consistent with my December 15, 2015 recommendation and the *Standards and Guidelines for the Conservation of Historic Places in Canada* prepared by Parks Canada.

Recommendations:

Having reviewed all drawings, I recommend that the Conservation Plan prepared by Scott Rushlow Associates Ltd including notes and drawings A1 to A17, dated December 16, 2019, be approved subject to:

1. The attachment of these comments to the Conservation Plan.

Wayne Morgan, RRP, MCIP, MCAHP



## WAYNE MORGAN HERITAGE PLANNER

PO Box 1203, 21 Land's End Sutton West, Ontario LOE 1R0

(905) 722-5398 wayne.morgan@sympatico.ca

## COMMENTS

Project:	Jane McCague Driveshed 11121 Leslie Street Richmond Hill, Ontario Conservation/Replication Plan No. 12–8b & 18-03
Drawings Reviewed:	Conservation/Replication Plan, dated November 27, 2018, consisting of:Notes:Drawing Schedule Construction Notes Plot PlanA1:Exterior ElevationsA2 – A4:Exterior DetailsA5:Foundation Plan – Ground Floor PlanA6:Second Floor Plan – Roof Framing PlanA7 – A8:Building SectionsA9:Building Details
Date:	December 16, 2019
Background:	In my revised and updated Cultural Heritage Impact Assessment for this property dated December 2015, in respect of a Conservation Plan, I recommended:
	A Conservation Plan is required for the Driveshed Such Conservation Plans, which would be subject to municipal approval, would provide details of how the buildings will be conserved and readapted and how any adverse impacts on or deterioration of any of the heritage attributes of the buildings will be addressed. The Plan should include drawings and specifications and should address, among other matters:
a.	Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing; and
<i>b</i> .	Interior conservation and rehabilitation work.

City Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

Conservation/Replication Plan Context:

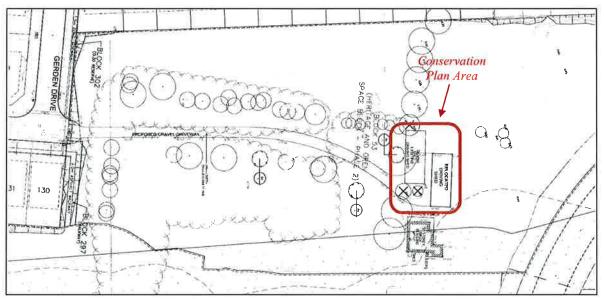


Figure 1 Conservation/Replication Plan Context Source: Part of Heritage House Landscape Plan prepared by the mbtw group, dated May 30, 2019.

### Conservation

- Plan Area: The Conservation/Replication Plan prepared by Scott Rushlow applies only to the building known as the Driveshed. It is proposed that the Driveshed be relocated approximately 1.2 metres to the north and 8 metres to the east, as shown in Figure 1, maintaining the same orientation of the structure so that the large openings continue to face north.
- Comments: When the Driveshed was first examined in 212, it was in a deteriorating state. The foundation had collapsed and heaved in places, several heavy timber post bases had rotted, been cut out and replaced by concrete, many vertical boards cladding the exterior had rotted at the base, shed doors were missing and the roof leaked. Over the intervening seven and a half years, deterioration of the structure and its fabric has progressed. The proposal is to rebuild the structure, conserving its memory as a physical structure but replacing all materials with new materials that replicate the appearance of the original. While this approach is not consistent

with the Standards and Guidelines for the Conservation of Historic Places in Canada prepared by Parks Canada; given the advanced deterioration of the structure and much of the heritage fabric of which it is built, I am of the opinion that this is an appropriate approach that meets my recommendation for a Conservation Plan for the structure. Furthermore, in replicating the structure, there is sufficient physical material left to provide a template for the precise reconstruction of the structure as it was originally built.

Given that the structure, including its foundation, will have to be rebuilt, the proposed relocation of the structure as shown in Figure 1 is acceptable, subject to the recommendation reorientation specified below, as it will maintain the strong visual connection between the House and the Driveshed.

Originally vehicle access to the House and Driveshed was from the west. Such access is no longer possible. The proposal, as shown in Figure 1, is to access the structures from the south. Since the recommended conservation strategy is to reconstruct the Driveshed and it is desirable for the Driveshed to be functional and useable, the reconstructed Driveshed should be reoriented, in its new location, so that the openings face the driveway (south) rather than north. As a result, on Drawing A1, I recommend that the elevations be relabeled as follows and all subsequent drawings be modified as appropriate given the reorientation:

Table 1 RECOMMEND	DED REORIENTATION
Drawing A1 - Existing	Drawing A1 - Recommended
North	South
South	North
East	West
West	East

**Recommendations:** 

Having reviewed all drawings, I recommend that the Conservation / Replication Plan prepared by Scott Rushlow Associates Ltd including notes and drawings A1 to A9, dated November 27, 2018, be approved subject to:

- 1. The reorientation of the Driveshed in its new location specified in Table 1 for Drawing A1 with appropriate modifications to subsequent Drawings, and
- 2. The attachment of these comments to the Conservation Plan.

Wayne Morgan, OPP, MCIP, MCAHP

# SCOTT RUSHLOW Associates Ltd

# SCOPE OF RESTORATION WORK: FARMHouse

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Roofing, #300 Asphalt	\$2.50/ft2	2,765ft2	\$6,900.00
2) Fascia/Soffit Restoration	\$50.00/ft	336ft	\$16,800.00
3) Masonry Pointing	\$10.00/ft2	2,086/ft2	\$20,860.00
4) Window Rest./inc storms	\$1,000.00	19	\$19,000.00
5) Door Rest./inc storms	\$1,500.00	4	\$6,000.00
6) Verandah Reconstruction	\$50.00/ft2	474ft2	\$23,700.00
7) Shutters Replacement	\$275.00/ea.	32	\$8,800.00
8) Chimney Restoration	\$2,750.00	2	\$5,500.00
9) Eaves Trough	\$12.00/ft	244	\$2,928.00
10) Exterior Painting (Fascia/so			\$21,000.00
11) Interior Trim Restoration (C	Casing, Baseboard, de	oors, fire place, stairs)	\$17,500.00
12) Interior Finishing (millwork	c only)		\$24,000.00
Subtotal			\$172,988.00
15% Contingency			<u>\$ 25,948.20</u>
Subtotal			\$198,936.20
H.S.T. 13%			<u>\$ 25,861.71</u>
Total Estimate (Heritage Resto	oration only)		\$224,797.91

2/2

10350 Concession #6 🔺 R.R.#2 🔺 Uxbridge 🔺 Ontario 🔺 L9P 1R2 🔺 905 852 5595

# SCOTT RUSHLOW Associates Ltd

# SCOPE OF REPLICATION/RESTORATION WORK: SPECIFICATION

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Building Detail Templating			\$4,500.00
2) Roofing, #300 Asphalt	\$2.50/ft2	2,412ft2	\$6,030.00
3) Fascia/Soffit Replication	\$20.00/ft	204ft	\$4,080.00
4) New Masonry Foundation	\$50.00/ft	184ft2	\$9,200.00
5) Window Replication	\$2,000.00	4	\$8,000.00
6) Door Replication	\$1,500.00	6	\$7,000.00
7) Eaves Trough	\$20.00/ft	136	\$2,720.00
8) Belfry Replication			\$10,500.00
9) Timber Frame Replication	\$45.00ft2	1,650ft2	\$74,250.00
10) Exterior Painting/stain (Fase	cia/soffit, Siding, W	/indows, Doors)	\$7,500.00
11) Exterior Siding Removal/Re	furbishment		\$5,720.00
Subtotal			\$139,500.00
10% Contingency			
			<u>\$13,950.00</u>
Subtotal			\$153,450.00
H.S.T. 13%			<u>\$ 19,948.50</u>
Total Estimate (Heritage Replic	ation/Restoration)		\$173,398.50

2/2

10350 Concession #6 A R.R.#2 A Uxbridge A Ontario A L9P 1R2 A 905 852 5595



May 29, 2018 Our Ref: L10-298

Leslie Elgin Developments Inc. c/o TACC Developments 600 Applewood Crescent Vaughan, ON, L4K 4B4

Attention: Ken Rovinelli

Re: Heritage Barn Foundation Leslie Elgin Developments – Phase 2 Block 53, Heritage Block Town of Richmond Hill, File No. 19T-04009

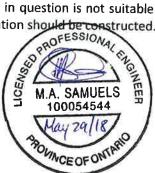
As requested by Leslie Elgin Developments Inc., Cole investigated the structural adequacy of the barn foundation located within Block 53 of the Leslie Elgin Development Phase 2 (Seen in Photograph #1). This investigation was purely visual in nature and no testing was performed. Based upon our visual observations at the site, the foundation appears to be in very poor condition, portions of the foundation are completely eroded away or missing (Seen in Photographs #2 and #3), and some portions of the walls are not sitting upon any foundation at all (Photographs #3 and #4).

It is in our opinion that the barn foundation in question is not suitable for use and should be demolished. Should the barn be rebuilt a new foundation should be constructed.

Yours sincerely, COLE ENGINEERING GROUP LTD.

Thilip Saleland

Philip Golubovich, E.I.T. Structural Designer



Michael Samuels, P. Eng. Structural Engineer

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#### COLE ENGINEERING GROUP LTD.



**Ken Rovinelli** Leslie Elgin Developments Inc. Page 2 May 29, 2018



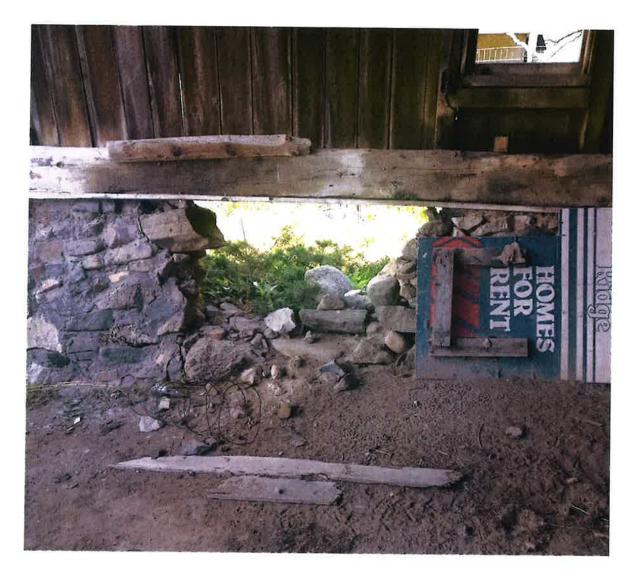


Photograph 1

Ken Rovinelli Leslie Elgin Developments Inc. Page 3 May 29, 2018



3

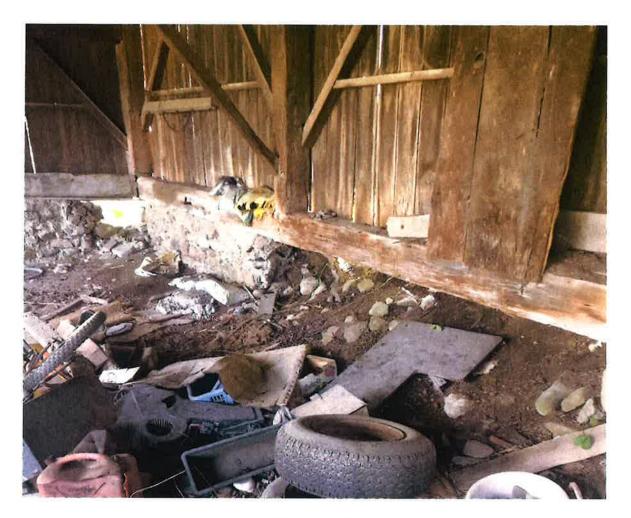


Photograph 2

Ken Rovinelli Leslie Elgin Developments Inc. Page 4 May 29, 2018



4



Photograph 3

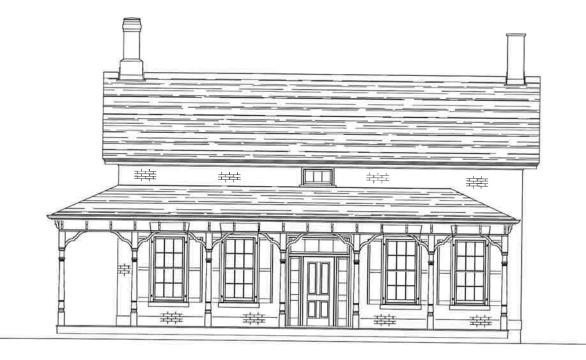
Ken Rovinelli Leslie Elgin Developments Inc. Page 5 May 29, 2018



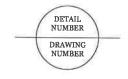
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Photograph 4



# The "Jane McCague Farmhouse" Conservation Plan



1	Issued for Client Approval	20/07/2017
No.	Description	Date
this des	dersigned has reviewed and takes re sign, and has the qualifications and r ments set out in the Ontario Buildin rr	neels the
	QUALIFICATION INFORM	IATION
Scott Rus	hlow	29726
NAME	SIGNATURE	BCIN
	REGISTRATION INFORM	ATION
Scott Run	hlow Associates Ltd	35924
FIRM		BCIN

PROJECT

Jane McCague House C/O Leslie Elgin Developments Inc. 1121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### Cover Sheet

Scale:	¥"=1°-0"	DRAWING NO.
Date:	July 20, 2017	
Job No		
Drawn By:	S-R.	
Checked By:		

CONSTRUCTION NOTES (unless otherwise noted)

All construction to comply with these plans and specifications and to the Ontario Building Code (current edition) and to all other applicable codes and authorities having jurisdiction. These requirements are to be considered minimum slandard

- (1) TRUSS ROOF CONSTRUCTION Min. No. #300 Asphalt shingles (as per elevations), 1/2" spruce ply exterior sheathing with "H" clips. Approved prime two spore particular images (up procession) and a procession in a strain in the strain of the strain procession in the strain of the str ons) Approved
- (18) CONVENTIONAL ROOF CONSTRUCTION CONVENTIONAL ROOP CONSTRUCTION Min. No. 9300 A high taking log (as per elevations), 1/2" sprace ply exterior sheathing, 2"X4" Spr. Cross Purlins @ 2'-0" O/C., Min, 2" x 10" sprace rafters @ 1'-4" o/c. (see plan for rafter size), Approved eaves protection to extend 3'-0" Tom edge of roof and min 1'-0" beyond inner face of exterior walk, Pro-finished aluminum eaves-through, facia (as per elevations), vented soffit, and RWL, Attik ventilation rafter of insulated earling with got's et eaves, (pre-finished aluminum rdge vent et aloped eoling as required), Roof insulated eak and too finisulated eak and too approved vapour barrier at sloped eolings, a vent min, 2, 3" ari sprace between u/s dock and too of insulation, J/8" int drywall finish or approved equal, Horizontal eoling as required 2" x sprace rafters @ 1-4" o/c. (see plan for ceiling joist size and connection details). Flat ceiling insulation, min, R-50 batt insulation and approved vapour barrier, 5/8" int drywall finish or approved equal.
- Existing Wall, Floor, Ceiling or Roof structure to remain. Contractor to refurbish existing structural components as required, to maintain the original performance level. (Modify as per plan) (2A)
- 28 Existing walls to be removed. Contractor to provide temporary bracing as required prior to demolition
- $\langle 2C \rangle$ FRAME WALL CONSTRUCTION (2"x6")

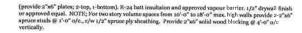
Exterior eiding or other as per elevations, (horizontal wood siding c/w 1'x3" vertical spruce strapping @ 1'-4" o/c, vertical wood siding c/w 1'x3" horizontal spruce strapping @ 2'-0" o/c). Typer air barrier or equal c/w prs-finished aluminum drip at siding/loandation wall junction (typ). 1/2" spruce ply exterior sheathing, 2"x6" spruce studs @ 1'-4' o/c. (provide -2'x6") plates; z-top, i bottom). R-z4 batt insulation and approved vapour barrier. 1/2" dypwal finish or approved equal. NOTE; For two story volume spaces from 10-0" to 18-0" max.high walls provide 2-2"x6" spruce studs @ 1'-4' o/c. (w 1'-4' o/c. (w 1'-2' spruce yb) studs z'x6" solid wood blocking @ 4'-0" o/c vertically. NOTE; Onti 3/4" thick spruce strapping where vinyl siding is used.

FRAME WALL CONSTRUCTION (2"x4") (2D)

Exterior siding or other as per elevations. (horizontal wood siding c/w 1"x3" vertical spruce strapping @ 1-4" o/c, vertical wood siding c/w 1"x3" brizontal spruce strapping @ 2-0" o/c). Approved sheathing paper c/w pre-finished aluminum drips ta siding/coundation wall junction. 1/2" spruce ply exterior sheathing. 2"x4" spruce stude @ 1"-4" o/c. (provide 2"x4" plates; 2-top, 1 boltom).

(28) 4" MASONARY VENEER CONSTRUCTION (2"x6")

4" masonary vencer (as per clevations), 1" air space, 7/8"x9"x0.03" galvanized metal tics @ 1"-4" 0/c horizental and 2'-0" o/c vortical, Typar air barrier c/w bottom course flashing up min 6" behind air barrier. Provide weep holes @ 2'-8" o/c, bottom course and over openings, 1/2" spruce ply exterior sheathing, 2"x6" spruce studs @ 1'-4" o/c,



2F 4" MASONARY VENEER CONSTRUCTION (2"x4")

4" masonary vencer (as per elevations). 1" air space. 7/8"x7"x0.03" galvanized metal ties @ 1'-4" o/c horizontal and  $2^{n} \cdot 0^{n}$  o/e vertical. Approved horizontaling apper ( $2^{n}$  bottom course of the article ( $1 \cdot 4 = 0/c$ abandhing apper. Provide vecto holes  $4^{n} \cdot 2^{n} \cdot 6^{n}$  o/e bottom course and over openings.  $1/2^{n}$  sprace ply exterior abandhing.  $2^{n} \cdot 2^{n}$  sprace stude  $4^{n} \cdot 4^{n} - 6^{n}$  (convict  $2^{n} \cdot 4^{n}$  places 2-iop, *i*-bottom).

INTERIOR STUD BEARING PARTITIONS

For bearing partitions 2"x4" sprane studs  $\oplus$  1'-4"  $\oplus/c$  for 2 storeys and 1'-0" o/c for 3 storeys. (provide 2'x4" plates 2-1 $\oplus$  1-bottom, c/w 3"x4" sprane blocking  $\oplus$  4' $\oplus$  0" of chorizonial). //2" drywall finish each side. NOTL3 2"x6" proze studg  $\oplus$  1" of o/c partitions where model on plan.

 $\langle 3B \rangle$ INTERIOR STUD NON-BEARING PARTITIONS

2"x4" spruce studs @ 1'-4" o/c. c/w. 1/2" drywall finish each side. Provide 2"x6" studs @ 1'-4" o/c. c/w. 1/2" drywall finish each side where noted plan. (for all partitions provide full width plates 2-top, 1-bottom).

 $\langle 4^{\Lambda} \rangle$ FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4)

ntinous drainage layer. Hitumen damproofing. Continous poured concrete foundation wall Approved continuous drainage layer, liitumen damproofing. Continuous poured concrete foundation wall (52Mps)/w.kster inisforcing as per note. (Goundation plan for wall thichcase), st5 (61b uilding paper moiature barrier. 2:Xa<sup>2</sup> spruce atuds @1'-4" o/c floor to ceiling (bottom plate c/w damproofing material). Pi-ta batt insubation of wa approved poly uspour barrier. 2:X6" all plate c/w ta?? dan x & lange, Anchor bolts @ min 7'-10" o/c (foam gasket or caulking between all plate and top of foundation wall. Use non-shirink grant to level still plate when required). & Thick continous atrip, keyed concrete footing set on natural undisturbed soil are compared engineered fill with min barring capacity of good plat. Or gates, (see foundation plan for footing width). Footings c/w 2-istim bar set in min 8" layer crushed drain tock over and anound weeping tile. NOTE: Foundation wall c/w 15mm bar @uil\_4" o/c ea. way:

#### FOUNDATION WALL/FOOTING CONSTRUCTION-(sec O.B.C. 9.15.3, and 9.15.4)

Continous poured concrete foundation wall (32Mpa/with fibre) c/w Steel Reinforcing as per note. (see foundation plan for wall thickness). Granular fill as required on both sides of foundation wall, compacted as required. 8" thick continous strip concrete footing set on natural undisturbed soil or compacted engineerol fi with min. bearing capacity of group pJ. or grater. (see Soundation plan for footing width). Footing c/w 2+15, mm bar set in line with outside face of foundation wall above and up 2" from u/s of footing. Note: Foundation wall c/w sup at #1-0" cee, away. Note: Foundation wall c/w 15m bar @ 1'-0" o/c ca. way.

- (4C BEAM POCKET or 12"x8" poured concrete nib walls. Min 5%" end bearing
- STEP FOOTING CONSTRUCTION-(see O.B.C. 9.15.3.8)

 $\langle 4B \rangle$ 

Min horizontal step 2'-0", Max, vertical step 2'-0" for still soil and 1'-4" for sand and gravel.

 $\langle 48 \rangle$ INTERIOR WOOD FRAMED BEARING WALLS AT FOUNDATION "At a spruce block if 1-4" of c. (provide 2"x6" plates 2-top. Hotm. 2"x6" spruce blocking @ 4"o" o/c borizontal). Stud wall set on a course of "thick tink block masonary c/w 1/2" dia. x 8" long and/or bolts @ min 7-10" of ema. Champtooling material between masonary and bottom plate. Fill block artitics with concrete). It thick x1-10" wide continues strip concrete concrete footing set on natural undisturbed or competed engineered fill with min. bearing capacity of 3000 psf. Footing c/w 2-10mm bar set in line with outside face of block above abd up 2" for up is footing.

(4F) 1"x3" spruce strapping on both sides of steel beam.

- (5A) SUBFLOOR, JOISTS, STRAPPING AND BRIDGING
- SUBFLOOK, JUINES, STRAPPING AND BRUGHNG Min 3/4<sup>4</sup> TRK spruce phy subfloors. 3<sup>+</sup> is spruce flow address as required, (see plan for joist size and spacing). (NOTE: For pre-engineered joist systems install as per manufacturers specifications). Solid bridging @ 4<sup>+</sup>0<sup>+</sup> of *c*. max. All joists to be strapped with "s<sub>3</sub><sup>+</sup> spruce @ 6<sup>+</sup>11<sup>+</sup> of *c*, unless a panel type ceiling, finish is applied. Install approved meal joist hangens as required. See Plan for Sib-3 fire separation assembly Requirements. Absorblive material to be 3.5<sup>+</sup> thk. rock slag mineral wool.
- Exposed floor to exterior provide R-31 balt insulation and approved vapour barrier. Continous air barrier, pre-finished aluminum soffit, unless otherwise noted on plan.
- $\langle 6A \rangle$ BASEMENT SLAB-(see O.B,C, 9,16)
- " 25 Mpa concrete slab on min, 4" thick layer course clean granular fill, Granular fill boneath this layer mus be well compacted.
- GARAGE, EXTERIOR SLABS 6" (32Mpa / with fibre) concrete slab with 5-8% air entrainment on 6" thick layer 3/4" dear washed stone. Slab reinforced with 15mm bar @ 1-0" Ea. way placed at mid-depth of slab. Compacted native sub-base. Slope slab as shown.
- 6C COLD CELLAR PORCH SLAB For max. 9'-0" porch depth \$"32Mpa concrete slab with 5-8% eir entrainment. Reinforced with 10mm bars @ 1'-0" ea. way in bottum third of slab.  $2^{*0}$ " x<sup>2</sup>-0" dowles  $2^{*0}$ " o/c anchored in perimeter foundation walls. Sloped slab mit. 3% to exterior
- ALL STAIRS/EXTERIOR STAIRS-(see O.B.C. 9.8) Max, rise 9-7/8", Min. run 8-1/4", Min. Iread 9-1/4", Max. nosing 1", Min. headroom 6'-5", Rail @ londing 2'-11", Rail @ stair 2'-8", Min. atair width 2'-10", FOR CURVED STAIRS: Min. run 6", Min. average run 8". HANDRAILS AND GUARDS: Provide pickets spaced 4" max. between pickets. Interior guards up 2'-11" min. Exterior guards up 2'-11" min. Above 5'-11" above ground level guards to be up 3'-6" min.
- 5/8" gypsum drywall on wall and ceiling between house and garage. R-24 insulation in walls, R-31 in ceiling. Tape and seal all joints gas tight.
- Door and frame gas-proofed. Door equiped with self closing device and weather stripping
- Precast concrete step or pressure treated wood step. Max rise 7-7/8", Min tread 9-1/4  $^{\prime\prime}_{*}$  (typ.)
- (II) Capped drycr exhaust vented to exterior
- (12) Attic access hatch 1'-8" x 2'-4" with weather stripping. R-24 rigid insulation backing
- FIREPLACE AND CHIMNEY CONSTRUCTION-(see O.B.C. 9.21, and 9.22,) Top of fireplace chimney shall be 3'-0" above the highest point at which it comes in contact with the roof and 2'-0" above the roof surface within a horizontal distance of 10'-0" from the chimne
- (44) Linen closet, 4 shelves min, 14" deep,

## DRAWING SCHEDULE

Notes	Construction Notes/Drawing Schedule
A1	Exterior Elevations
A2	Exterior Elevations
A3	Fascia / Soffit Details, Chimney Details
A4	Verandah Details
A5	Front Entrance Details
A6	Window Details
A7	Window Details
A8	Window Details
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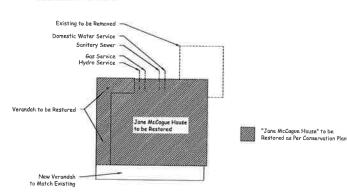
#### The "Jane McCague House" Conservation Plan Synopsis

The Jone McCogue House Concervation Plan has been prepared in observance of the findings of the Cultural Heritage Impact Assessment Report drafted by Wayne Margan, December 2015, Article "6.4 Statement of Cultural Heritage Value" of the CHLA identifies the following heritage altributes worky of concervation including:

- the rectangular plan at the building with its symmetrical arrangement of openings;
   the goble read with its projecting and returned eaves and consice moulding;
   the brick clocking of the building on all elsevitons;
   the rectangular window openings with their brick voussairs; lug sills and 6/6 sushes;
   the chinesy so table the eart and west ands of the read peaks;
   the chinesy so table the eart and west ands of the read peaks;
   the chinesy so table the eart and west ands of the read peaks;
   the forst entrance opening with its brick voussair, 4 paneled front door, side lights with box paneling, and fait roussan;
   the interior starting turned parts assumed so and bondroli.

- The reconcilent of the set of the sector of

This Conservation Plan identifies and documents the above named original features and provides guidance for their restoration.



Conservation Work Reference Plan

#### GENERAL NOTES

AREA CALCULATIONS

#### LUMBER-

(15)

(16)

(17)

(18)

(19)

(21)

WINDOWS

SMOKE ALARM-(see O.B.C. 9.10.19.3)

LIGHTING (see O.B.C. 9.9.11.)

- t) All lumber shall be spruce no.2 grade or better, unless otherwise noted.
- 2) Studs shall be stud grade spruce, unless otherwise noted 3) Lumber exposed to the exterior to be spruce noi 2 or better, pressure treated or cedar, unless otherwise noted

- least 6" above the ground.
- 7) All lintels to be 2-2"x10" spruce c/w 2-2"x6" spruce posts each end unless otherwise noted on plan
- STRUCTURAL STREET
- 2) All structural steel shall be CSA G40.21-M-300 and 350W for H.S.S. Class H
- Welding shall conform to the requirements of CSA-W59, and shall be undertaken by a fabricator app the Canadian Welding Bureau to the requirements of W47 Canadian Welding Standard. 3)

CONCRETE:

- 3) Provide 5-8% air entrainment for all concrete exposed to exterior-
- All reinforcing steel to be deformed bars conforming to CSA G30.12-M Grade 400.

MASONARY:

- 1) Masonary construction shall conform to CSA Standard CAN3-A371-M84
- All concrete blocks shall have a minimum ultimate committee.
- 4) Mortar for all masonary walls shall be Type "S" as defined in CSA Standard A179-M1976

Mechanical exhaust fan, vented to exterior, to provide 1 air change per hour.

#### EXPOSED BUILDING FACE-(see O.B.C. 9.10.14)

Exterior walls to have a fire resistance rating of not less than 45 min, where limiting distance less than 3'-1'. Where the limiting distance is less than 1'-1'' the exposing face shall be clad in mon-combustable material. Max percentage of unprotected openings as per Table Q.B.C. 20.014.A.

All required smoke alarm and visual devices to be installed as per O.B.C. 9.10.19.2. Install minimum 1 alarm and visual device on each atorcy including basements and 1 alarm and visual device per sloeping area plus minimum 1 alarm and visual device per hallway servicing sleeping areas. Alarms to be connected to an electri circuit and interconnected to activate all alarms if 1 sounds. cted to an electric

CARBON MONOXIDE DETECTOR-(see O.B.C 9.33.4)

All carbon monoxide detector alarm requirements to be installed as per O.B.C. 9.33.4. Carbon mon detector alarms to be connected to an electric circuit and interconnected to activate all alarms if t as

MAIN BATH SOLID BLOCKING REQUIREMENT (see O.B.C. 9.5.2.3)

Provide Solid wood blocking to accomodate future W/C and Shower support bars as per O,B,C, 9,5,2,3, For W/C grab flar blocking install as per O,B,C,  $\pm$ , $\pm$ , $\pm$ ,0,0 (0). For Shower grab bar blocking install as per O,B,C,  $\pm$ , $\pm$ , $\pm$ ,0,1 (0).

(20) REQUIRED EXIT SIGNS (see O.B.C. 9.9.10.)

MINIMUM BEDROOM WINDOW-(see O.B.C. 9.7.1.3)At least one bedroom window on a given floor is to have a min. 0.35m2 unobstructed glazed or openable area with min. clear widh 1'-3"

WINDOW GUARDS-(see O.B.C. 9.7, 1.6, and 9.8.8.) A guard or a whole with a maximum nextricted opening width of 4" is required where the top of the window sill is located less than 1-6" showe fin. floor and the distance from the fin. floor to the adjacent grade is greater than  $5^{L}$ -1".

3) WINDOW IN EXIT STAIRWAYS-(see 0.6,C<sub>6</sub>,9,7,5,2.) Windows in exit stairways that extend to less than 3'-6" above the landing shall be protected be barriers or railings located 3'-6" above such landings.

Mechanical ventilation is required to provide 0.3 air changes per hour averaged over 24 hours. See Mechanical drawings for all Heating, Ventilation, and Air-conditioning requirements

All roof overhangs to be 1'-4" unless otherwise noted on EXTERIOR ELEVATIONS

CONTRACTOR MUST VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND JOB SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SCOTT RUSHLOW ASSOCIATES LTD.

All laminated veneet lumber (L.V.L.) beams, girder trusses, and metal hanger connections supporting roof framing to be designed and certified by truss manufacturer.

All LV.L beams shall be 2:0E W5 Micro-Iam LV.L (Pbv2800ps). min.) or better by 'TRUS JOIST MacMILLAN. Built-up L.V.L. beams to be connected as per manufacturers specifications. T.J.L joist shall denote wood 'T' joista manufactured by TRUS JOIST MacMILLAN. LV.L. beams and T.J.L joist framed to the side of another wood member shall be supported by approved metal hangers.

6) Wood framing not treated with a wood preservative, in contact with concrete shall be separated from the concrete by at least 2mil, Polyethylene film or other damproofing material, except where the wood member is at

1) All structural steel shall be fabricated and erected to the requirements of CSA Standard CAN3-St6-1-M84

1) Cast in place concrete construction shall conform to the requirements of CSA Standard CAN3-A23-1-m84 2) All concrete shall have a minimum compressive strength of 25 Mpa at 28 days unless otherwise noted on plan

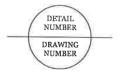
Cold weather concrete construction shall conform to CSA Standard CSA-A23.1-M84- Provide temporary enclosure and heating as required.

All plain and reinforced masonary shall conform to CAN3-A165 Series-M85 for concrete masonary units, and CAN/CSA-A8#1-M87 for burned clay brick units

rength of 22 Mps on net are

5) Concrete block wall shall be reinforced horizontally with Standard Blok-Lok @ 1'-4" o/c vertically as per

6) Reinforced masonary shall be grouted with 20Mpa concrete, 3/8" aggregate (pca gravel) and 8" slump



SB-12 ENERGY EFFICIENCY DESIGN MATRIX

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow SIGNATURE 29726 BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd FIRM 35994 BCIN

SCOTT RUSHLOW

associates Ltd 111-111 Upper Duke Cres Markham ON L6G oC8 905 852 5595

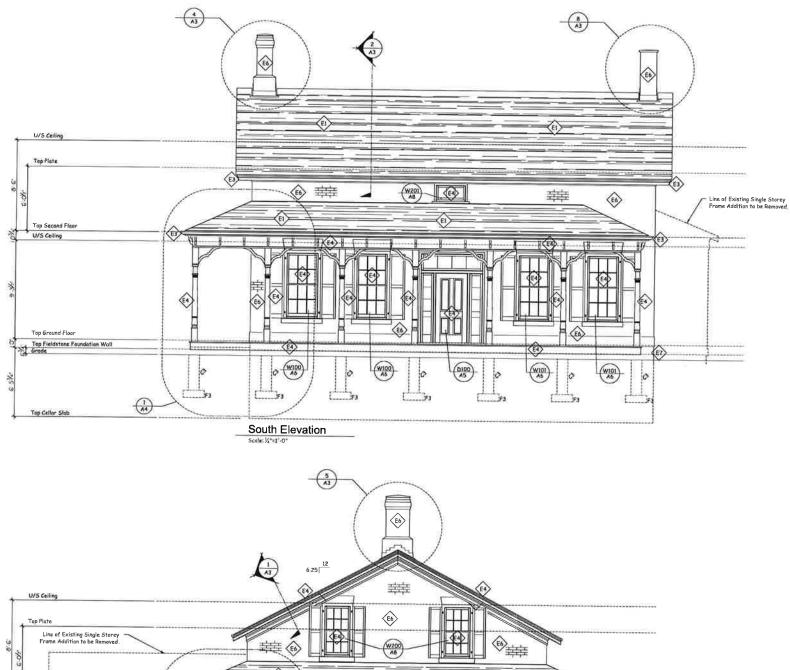
#### PROJECT

Jane McCague House C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

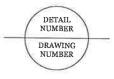
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#### Drawing Schedule **Construction Notes** Plot Plan

Scale As Noted DRAWING NO. Date: July 20, 20 Job No Notes Drawn By: S.R. Checked By







El	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req"d
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13, Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
<b>E3</b>	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior waddwork to be restared and or replaced a required to match original form. Scrope and sand waodwork and make ready for part finish as needed, Exterior Paint Finish, Paint 3 cost work. I Primer, Pinish, Primer, Branganin Moore - "Fresh Stort" Finish Benjamin Moore - "Area Glactiac Colour by owner, Approved by Heritage Richman Hall.
<b>E5</b>	New Pre-finished wood siding by "Maibec" 1"X4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications Selected by Owner, Approved by Heritage Richmond Hill.
<b>E6</b>	Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Hauses of Brick & Stone" by Nigel Hutchins
<b>(F7)</b>	Existing Fieldstone Masanry to be Restored, Stane restaration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

No	Description	Date
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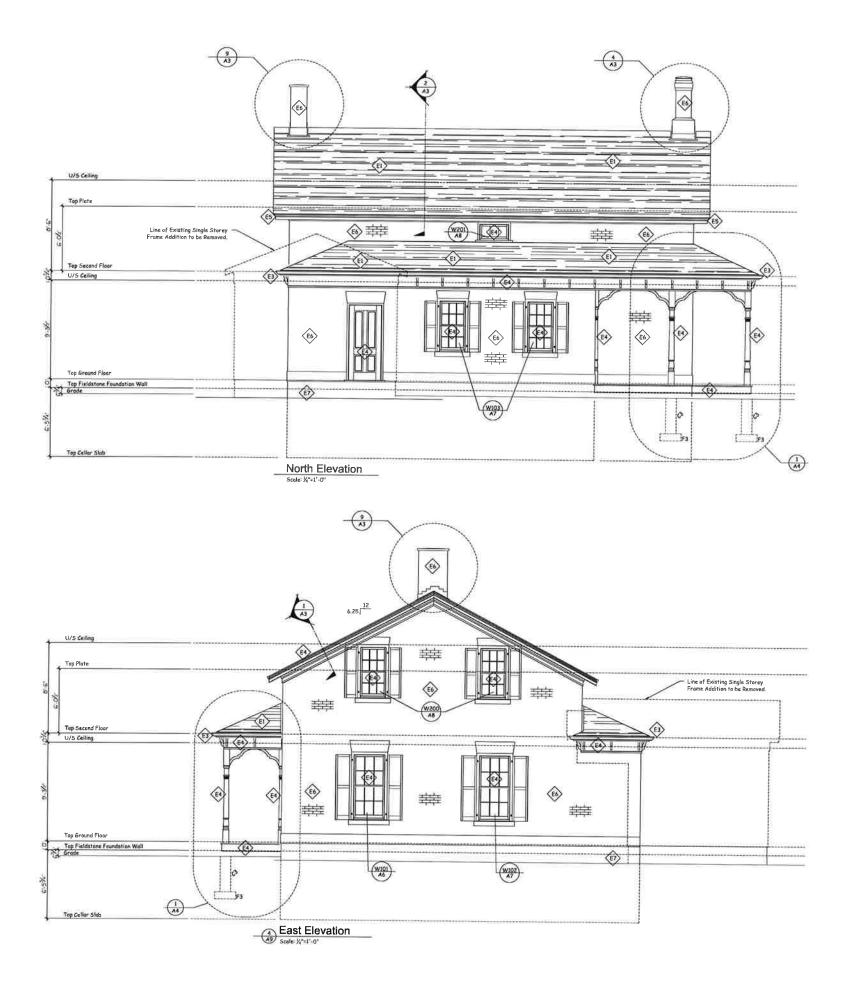
# Jane McCague House

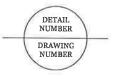
C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior Elevations**

Scale:	¥4*=1*-0*	DRAWING NO.
Date:	July 20, 2017	
Job No.		Λ1
Drawn By:	S-R.	AI
Checked By:		





(F1)	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd
EZ	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.2613. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Reg'd
<b>€</b> 3∕	New Pre-fin alum Eaves traugh C/W all Pre-fin Trims and Fittings as Req'd
<b>E</b> 4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original farm. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 coat work. 1 Primer - Benjamin Moore. "Fresh Start" Finish. Benjamin Moore. "Fresh Start" Finish. Benjamin Moore. "Arva Collection" Colour by owner, Approved by Heritage Richmod Hill.
E5	New Pre-finished wood siding by "Maibec", 1°X4" Horizontal Rabbeted Bevel Siding, Install as per manufacturers specifications, Selected by Owner, Approved by Heritage Richmand Hill,
E6	Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

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Description	Date
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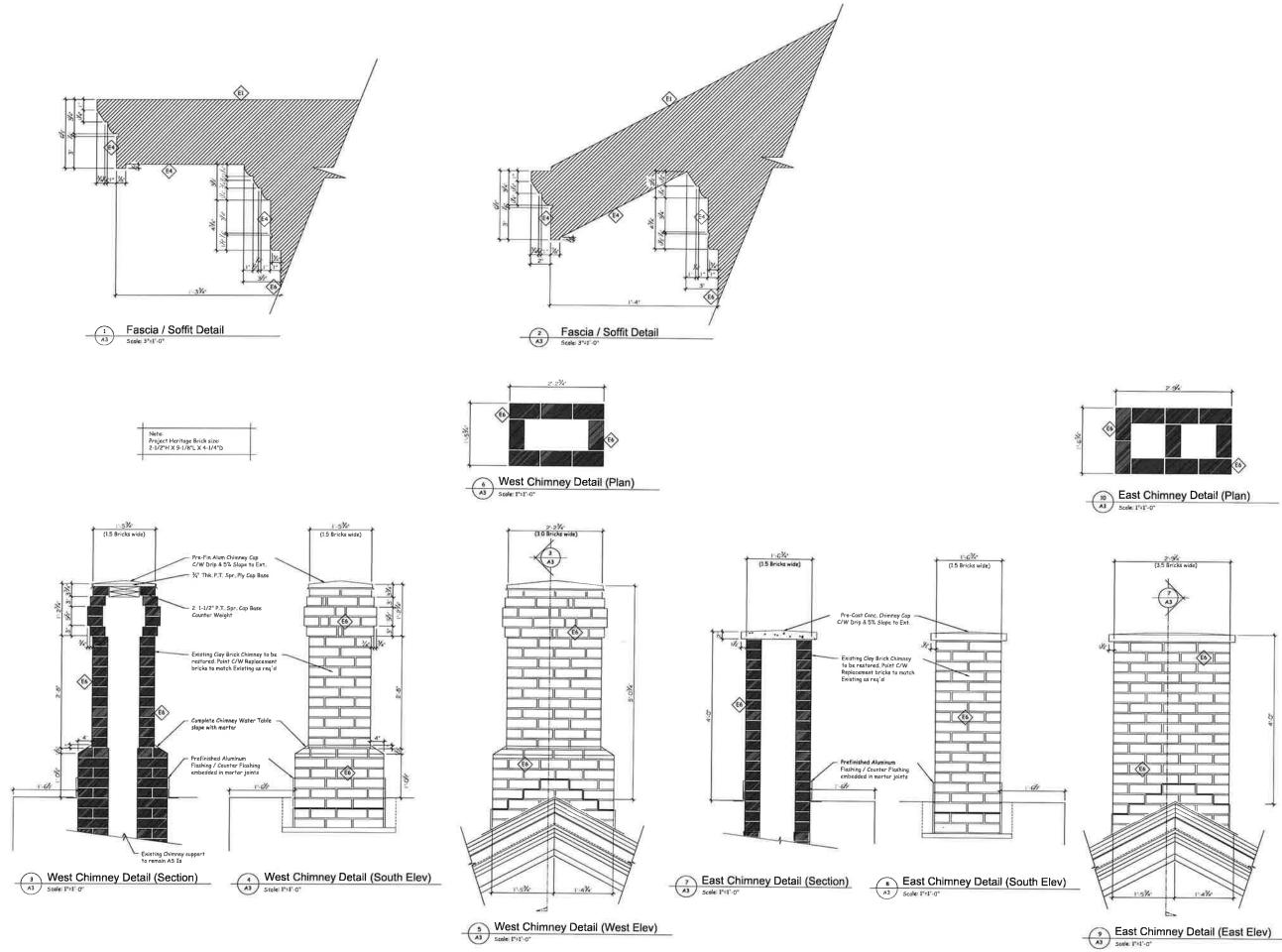
#### PROJECT

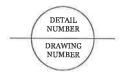
Jane McCague House C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior Elevations**

Scale:	1/4 - 1 - 0"	DRAWING NO.
Date;	July 20, 2017	
Job No		٨٥
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Checked By:		





- New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd (E1) New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Reg'd < EZ
- E3 New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
- EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrope and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish, Paint 3 cost work, 1 Primer, 2 Erinish. Primer Benjamin Maore "Kans Start" Primer Benjamin Maore "Kura Collection" Colour by awner, Approved by Heritage Richmond Hill. E4
- New Pre-finished wood siding by "Moibec", 1"X4" Horizontal Rabbeted Bevel Siding, Install as per manufacturers specifications, Selected by Owner, Approved by Heritage Richmond Hill. E5
- Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins **E6**
- Existing Fieldstone Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins **E7**

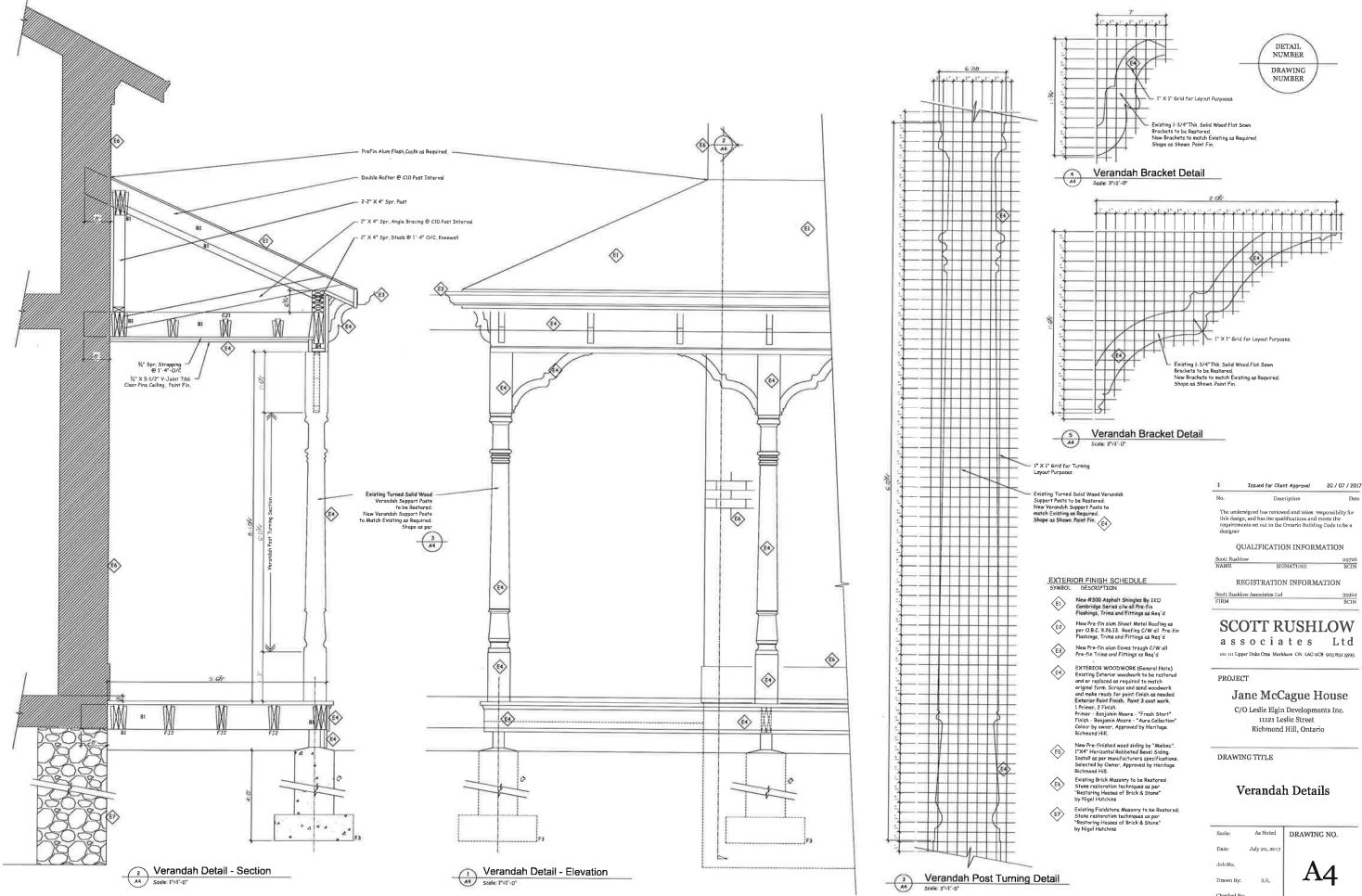
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Scott Rus	hlow	29726
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PROJ	ECT	
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(	C/O Leslie Elgin Developme 11121 Leslie Street	ents Inc.

Richmond Hill, Ontario

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### Fascia / Soffit Details **Chimney Details**

Scale:	As Noted	DRAWING NO.
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Job No		٨٥
Drawn By:	S.R.	гз
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Checked By:

#### Window & Door Refurbishing (General Notes)

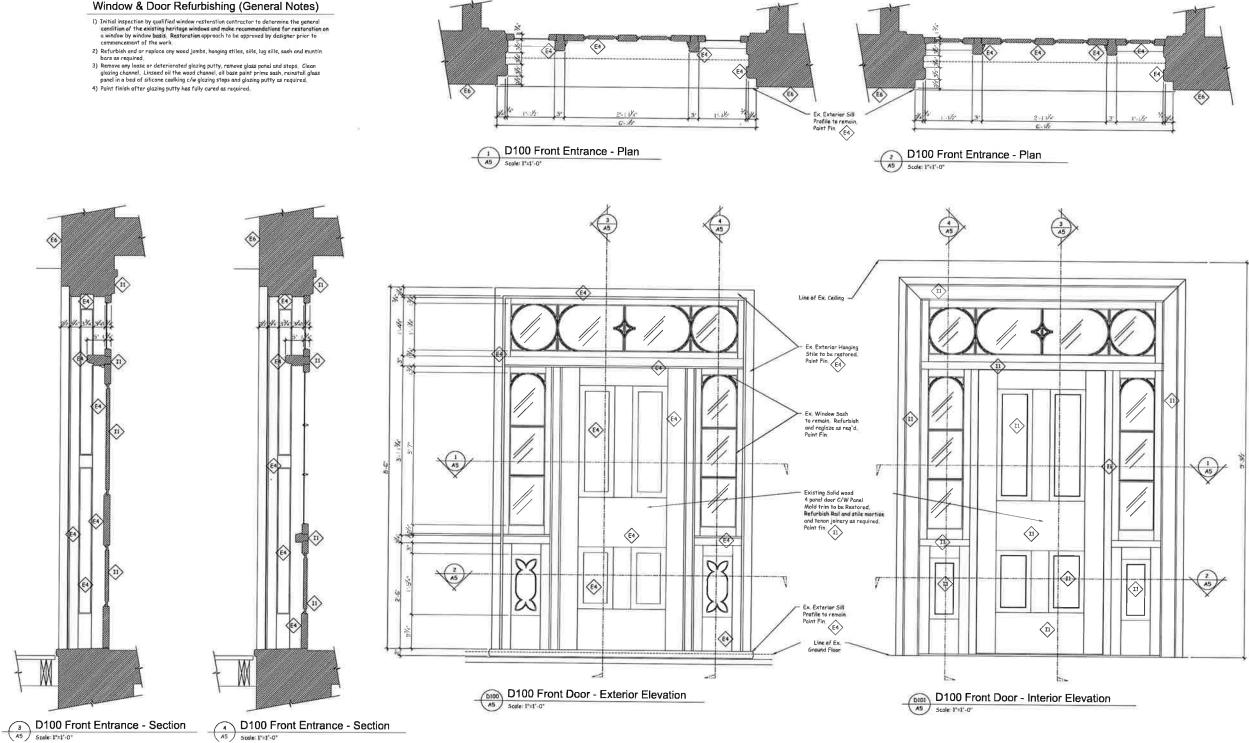
- Initial inspection by qualified window restanation contractor to determine the general condition of the existing heritage windows and make recommendations for restanation on a window by window basis. Restoration approach to be approved by designer prior to commencement of the work.

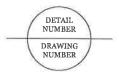
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## EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

- New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd (E1) EZ
- New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13, Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
- New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd E3
- EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as raquired to match original form Scrape and Sand woodwork and make ready for paint finish as needed. Exterior Paint Finish, Paint 2 acet work. 1 Primer: Berjanin Moore "Kresh Start" Frimish Benjamin Moore "Aura Collection" Colour by waver, Approved by Heritoge. Richmond Hill. (E4)
- New Pre-finished wood siding by "Maibec", 1"X4" Horizontal Rabbeted Bevel Siding Install as per manufacturers specifications, Selected by Owner, Approved by Heritage Richmond Hill **E5**
- Existing Brick Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins **E6**
- Existing Fieldstone Masonry to be Restared. Stane restarction techniques as per "Restoring Houses of Brick & Stane" by Nigel Hutchins (E7)

No Description Date The undersigned has reviewed and lakes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Sout Rushlow 20726 NAME SIGNATURE BCIN REGISTRATION INFORMATION Scott Rushlow Associates Ltd PIRM 35924 BCIN SCOTT RUSHLOW associates Ltd

Issued for Client Approval 20 / 07 / 2017

111-111 Upper Duke Cres Markham ON L6G oC8 905 852 5595

PROJECT

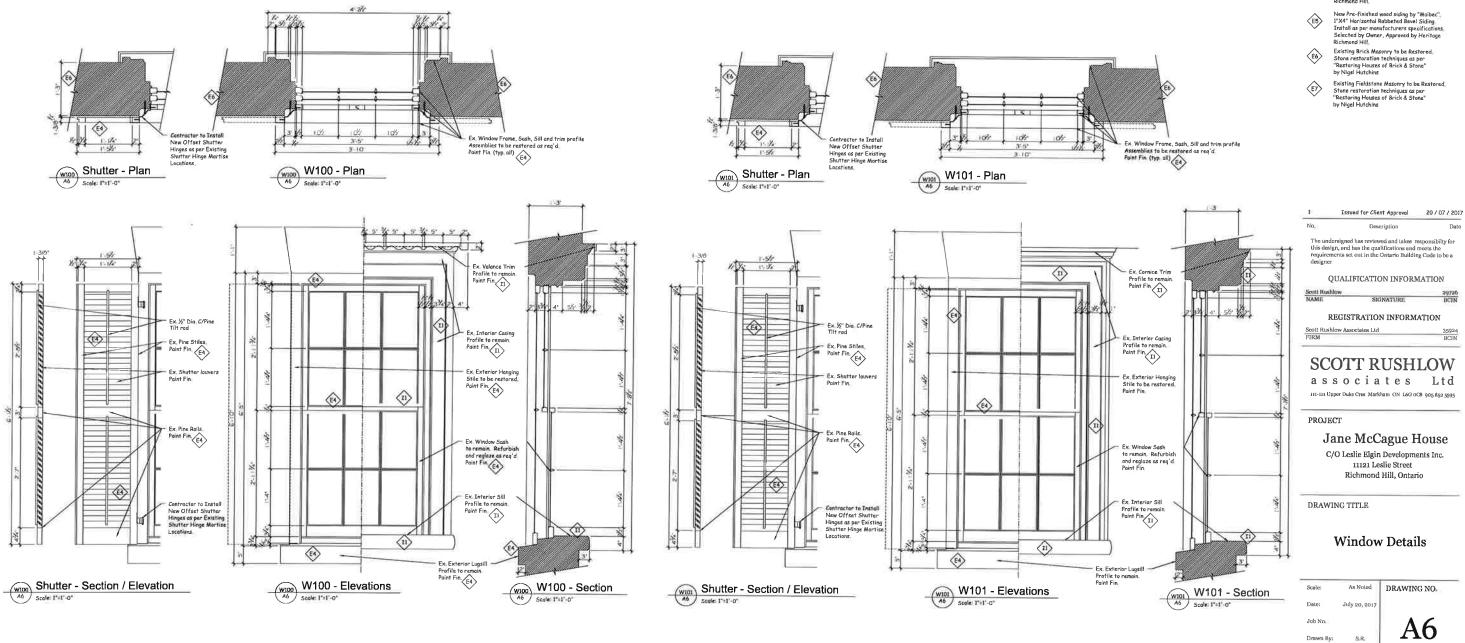
Jane McCague House C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

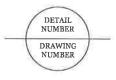
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### Front Entrance Details

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Job No.		
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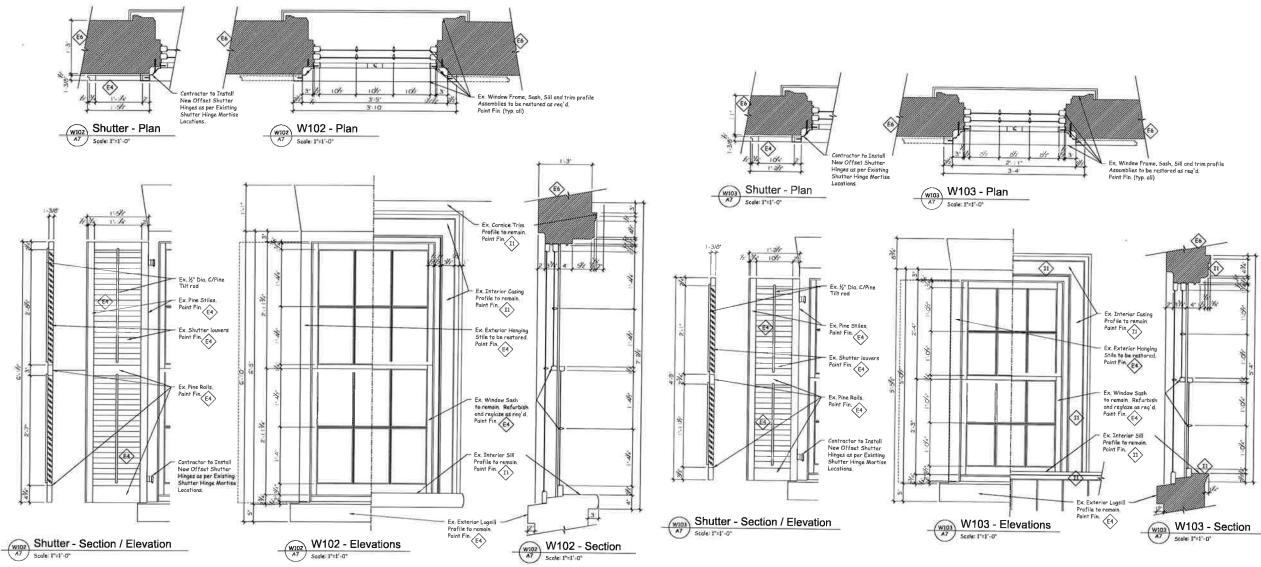


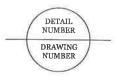


## EXTERIOR FINISH SCHEDULE

- New #300 Asphait Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd E New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd E2 New Pre-fin alum Éaves trough C/W all Pre-fin Trims and Fittings as Req'd **E3** E4
- EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or repleced as required to match original form. Scrape and aand woodwork and moke ready for paint finish as needed. Exterior Paint Finish, Paint 3 cost work. 1 Primer Berjanin Moore "Fresh Start" Frimish Benjamin Moore "Fresh Start" Golaur by ware, Approved by Heritoge Richmand Hill.

Checked By:





## EXTERIOR FINISH SCHEDULE

(E1)	New #300 Asphalt Shingles By IKO Combridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd
EZ	New Pre-fin alum Sheet Metal Roofing as per 0.8.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
<b>€</b> 3	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored

- Existing Exterior woodwark to be restored and or replaced as required to match eriginal farm. Scrape and stand woodwark and make ready for paint finish as needed. Exterior Pariamin Moore "Fresh Start" Frinten Benjamin Moore "Fresh Start" Frinten Benjamin Moore "Aura Callection" Colour by owner, Approved by Heritage Richmond Hill. V
- E5
- New Pre-finished wood siding by "Moibec", 1"X4" Horizontal Rabbeted Bevel Siding, Install as per manufacturers specifications, Selected by Owner, Approved by Heritage Richmond Hill, (E6)
- Existing Brick Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
- Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins (F7)

No.	Description	Date
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Issued for Client Approval 20 / 07 / 2017

Scott Rushlow Associates Ltd FIRM 35924 8CIN

SCOTT RUSHLOW

associates Ltd 111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT

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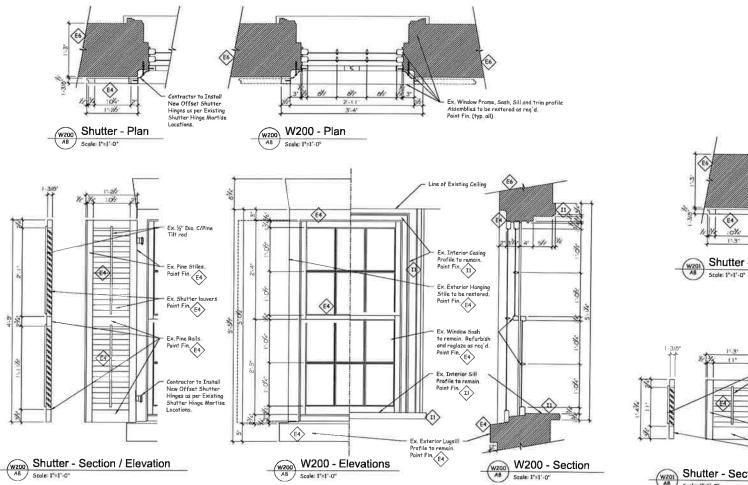
## Jane McCague House

C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

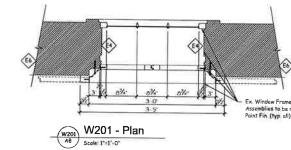
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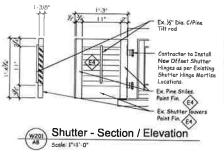
#### Window Details

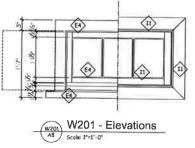
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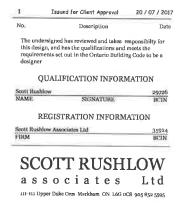








(EI)	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req"d
(E2)	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Reg'd
€3∕	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (Seneral Note) Existing Exterior woodwork to be restored and ar replaced as required to match original form. Scrape and sond woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 cost work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish. Benjamin Moore - "Tresh Start" Colour by owner, Approved by Heritage Richman Hill.
<b>E</b> 5	New Pre-finished wood siding by "Maibee", I"X4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
6	Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
(E7)	Existing Fieldstone Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins



#### PROJECT

#### Jane McCague House

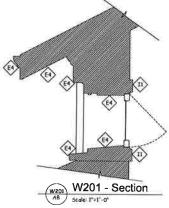
C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

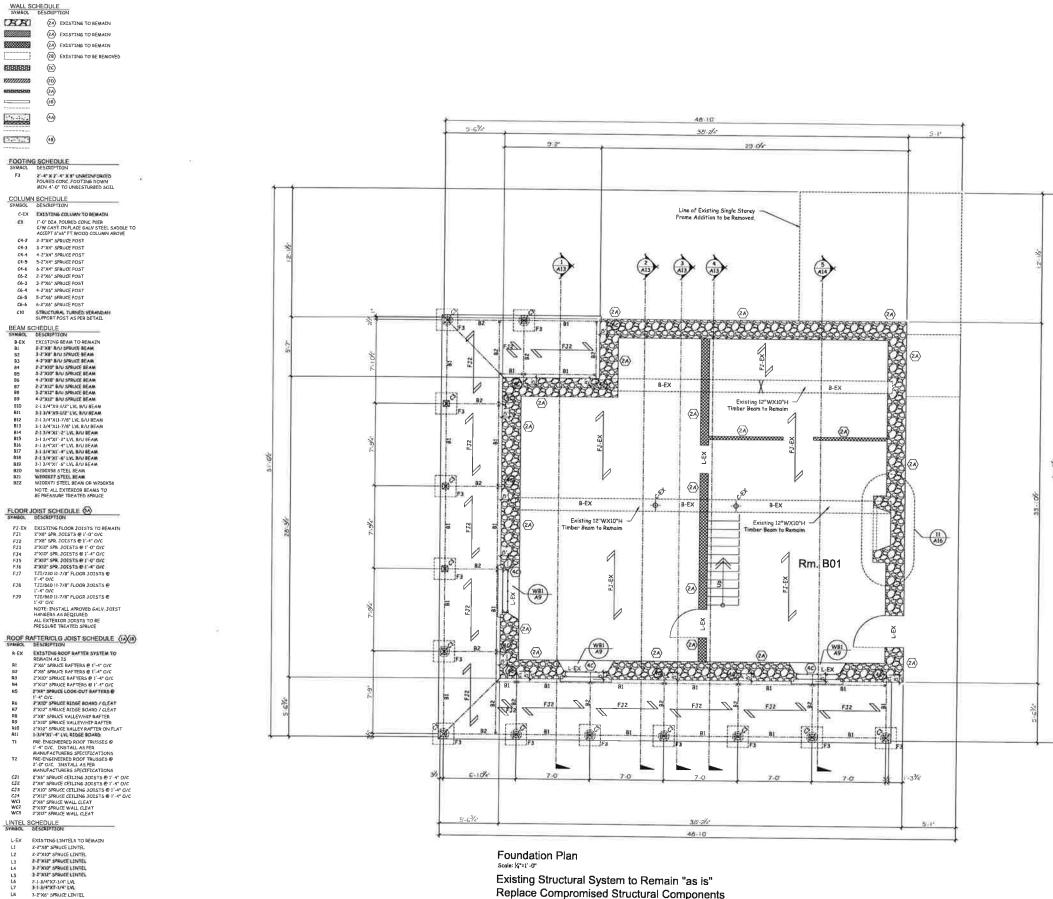
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#### Window Details

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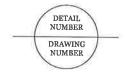
Ex Window Frame, Sash, Sill and trim profile Assemblies to be restered as req'd. Paint Fin. (typ. all)





to Match the Existing Original Part as Required.

- LB 3-2"X6" SPRUCE LINTEL L9 ½"THK X 4"W X 6"H STL LINTEL (Steel Lintel as reg'd)
- (Steel Lintel as reg d) NOTE ALL LINTELS TO BE SUPPORTED BY MIN 2-2"X6" SPRUCE POST AT EACH END



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this de	dersigned has reviewed and takes re sign, and has the qualifications and i ments set out in the Ontario Buildin r	nects the
	QUALIFICATION INFORM	IATION
Scott Rus	hlow	29726
NAME	SIGNATURE	DCIN
	REGISTRATION INFORM	ATION
8	hlow Associates Ltd	35924
Scott Run		

PROJECT

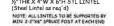
Jane McCague House C/O Leslie Elgin Developments Inc, 1121 Leslie Street Richmond Hill, Ontario

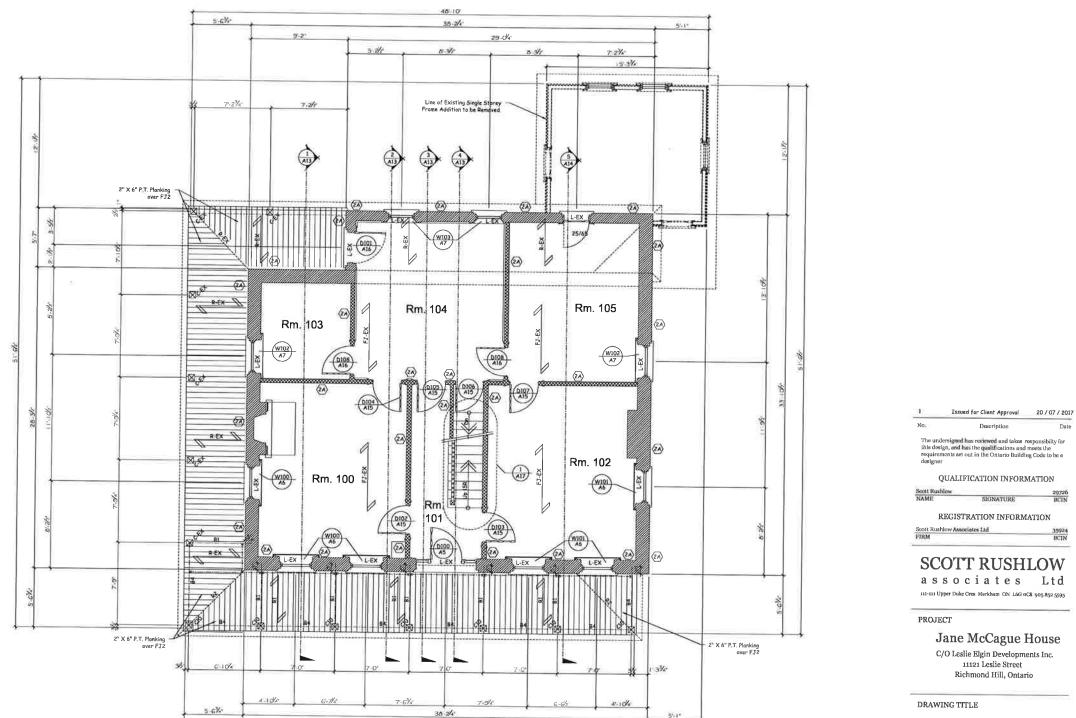
DRAWING TTTLE

#### **Foundation Plan**

Scale:	¼"≃I'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No		10
Drawn By:	S.R.	Ay
Checked By:		

SYMBOL	DESCRIPTION
(AA)	(2A) EXISTING TO REMAIN
	(2A) EXISTING TO REMAIN
	(2A) EXISTING TO REMAIN (2B) EXISTING TO BE REMOVED
1202223	<sup>©</sup>
viiiiiinin	20)
5100000	30
	(38)
rinsseries	(4A)
P	(48)
FOOTIN	G SCHEDULE DESCRIPTION
F3	2'-4" X 2'-4" X 8" UNREINFORCED POURED CONC. FOOTING DOWN
COLUM	MIN. 4'-0' TO UNDISTURBED SOIL
SYMBOL	V SCHEDULE DESCRIPTION
C-EX	EXISTING COLUMN TO REMAIN 1'-O" DIA, POURED CONC PIER
C4-2	C/W CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 6"x6" PT WOOD COLUMN ABOVE 2-2"X4" SPRUCE POST
C4-3 C4-4	3-12"X4" SPRUCE POST 4-2"X4" SPRUCE POST
C4-5 C4-6	5-2"X4" SPRUCE POST 6-2"X4" SPRUCE POST 6-2"X4" SPRUCE POST
C6-Z	2-2"X6" SPRUCE POST 3-2"X6" SPRUCE POST
C6-3 C6-4	4-2"X6" SPRUCE POST 5-2"X6" SPRUCE POST
C6-5 C6-6	6-2"X6" SPRUCE POST
<i>c</i> 10	STRUCTURAL TURNED VERANDAH SUPPORT POST AS PER DETAIL
BEAM S	DESCRIPTION
8-EX BI	EXISTING BEAM TO REMAIN 2-2"X8" BAU SPRUCE BEAM
82 83	3-2"XA" BAU SPRUCE BEAM 4-2"XA" BAU SPRUCE BEAM
84 85	A J"XID" BAU SPRUCE BEAM 3-2"XIO" BAU SPRUCE BEAM 4-2"XID" BAU SPRUCE BEAM
86 87 88	2 2 X12" B/U SPRICE BEAM 3.2" X12" B/U SPRICE BEAM
810	4-2"X12" B/U SPRUCE BEAM 2-J 3/4"X9-1/2" LVL B/U BEAM
911 B12	3-1 3/4*X9-1/2* LVL B/U BEAM 2-1 3/4*X11-7/8* LVL B/U BEAM
B13 B14	3-1 3/4"X11-7/8" LVL B/U BEAM 2-1 3/4"X1'-2" LVL B/U BEAM
B15 B16	3-1 3/4"X1"-3" LVL 3/4 3E AM 2-1 3/4"X1"-4" LVL 3/4 3E AM
817 816	3-J 3/4"X1"-4" LVL B/U BEAM 2-J 3/4"X1"-6" LVL B/U BEAM
819 820	3-J 3/4*XI"-6* LVL B/U BEAM W250X58 STEEL BEAM
821 822	W200X27 STEEL BEAM W200X71 STEEL BEAM OR W250X58 NOTE: ALL EXTERIOR BEAMS TO
	BE PRESSURE TREATED SPRUCE
FLOOR .	DESCRIPTION
FJ-EX	EXISTING FLOOR JOISTS TO REMAIN
FJ1 FJ2	2"X8" 5PB JOISTS @ 1"0" O/C
FJ3 FJ4 FJ5	2"XI0" SPR. JOISTS @ I'-0" O/C 2"XI0" SPR. JOISTS @ I'-4" O/C 2"XI2" SPR. JOISTS @ I'-4" O/C
FJ6 FJ7	2 X12 SPR JOISTS @ 1-07 2'X12' SPR JOISTS @ 1-07 TJJ/230 11-7/8' FLOOR JOISTS @
FJB	1°-4° 0/C TJI/560 11-7/8° FLOOR JOISTS €
FJ9	I'-4" O/C TJJI/560 11-7/8" FLOOR JOISTS € 1'-0" O/C
	1-0-07C NOTE INSTALL APROVED GALV JOINT HANDERS AS REQUIRED
	ALL EXTERIOR JOISTS TO BE FRESSURE TREATED SPRUCE
ROOF R	FTER/CLG JOIST SCHEDULE (1)
R-EX	EXISTING ROOF RAFTER SYSTEM TO REMAIN 4515
R1 R2	REMAIN AS IS I'X6' SPAUCE RAFTERS & I'-4' O/C I'X6' SPAUCE RAFTERS & I'-4' O/C
R3	2"X10" SPRUCE RAFTERS @ 1 -4" O/C 2"X12" SPRUCE RAFTERS @ 1 -4" O/C
R5	2"X4" SPRUCE LOOK-OUT RAFTERS @
R6 R7	2"XIO" SPRUCE RIDGE BOARD / CLEAT 2"XI2" SPRUCE RIDGE BOARD / CLEAT
86 89 910	2"X8" SPRUCE VALLEY/HIP RAFTER 2"X10" SPRUCE VALLEY/HIP RAFTER 2"X12" SPRUCE VALLEY RAFTER ON FLAT
410 R11 T3	1-3/4"XL'-4" LVL RIDGE BOARD PRE-ENGINEERED BOOF TRUSSES @
	1-4" O/C INSTALL AS PER MANUFACTURERS SPECIFICATIONS
TZ	PRE-ENGINEERED ROOF TRUSSES @ 2.0° O/C TNSTALL AS PER MANUFACTURERS SPECIFICATIONS
CJ1 CJ2	I X6 SPRUCE CEILING JOISTS @ I'4' OVC 2'X8" SPRUCE CEILING JOISTS @ I'4" OVC
CJ3 CJ4	2"X10" SPRUCE CEILING JOISTS @ I"-4" 0/C 2"X12" SPRUCE CEILING JOISTS @ I'-4" 0/C
WC	2"X8" SPRUCE WALL CLEAT 2"X10" SPRUCE WALL CLEAT 2"X12" SPRUCE WALL CLEAT
LINTEL S	CHEDULE
SYMBOL	DESCREPTION EXISTING LINTELS TO REMAIN
	2-2°X10° SRUCE LINTEL 2-2°X10° SRUCE LINTEL
L3	2-2*XIU SINUCE LINTEL 2-2*XI2* SPRUCE LINTEL 3-2*XI0* SPRUCE LINTEL
L5 L6	3-2"X12" SPRUCE LINTEL 2-1-3/4"X7-1/4" LVL
L7	1-3/4"X7-1/4" LVL 1-2 X6" SPRUCE LINITEL
L9	%"THK X 4"W X 6"H STL LINTÉL (Steel Lintel as req'd)

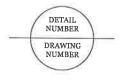




Ground Floor Plan

Existing Structural System to Remain "as is" Replace Compromised Structural Components to Match the Existing Original Part as Required.

48-10



## Ground Floor Plan

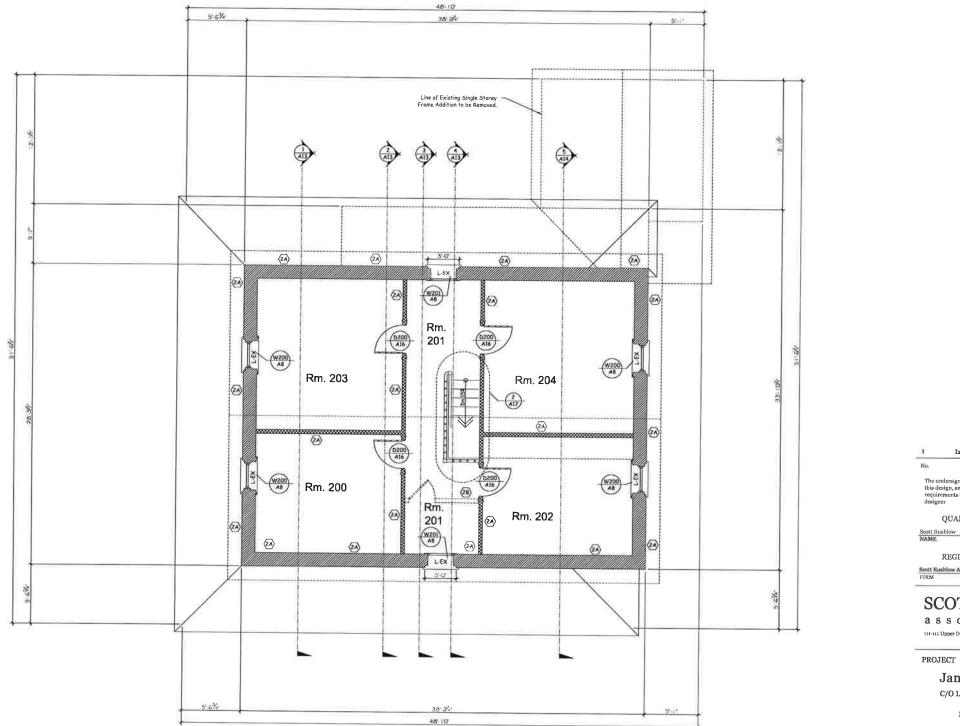
Date

29726 BCIN

35924 BCIN

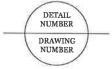
Scale:	¥"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No		A10
Drawn By;	S.R.	AIU
Checked By:		

WALL	SCHEDULE
SYMBOL	DESCRIPTION
(AA	0
	-
1	(28) EXISTING TO BE REMOVED
ERRARS	
xmmmm	
KROAKSE	
	(1)
State.	(43)
6000000	
Detel	(18)
SYMBOL	DESCRIPTION
F3	2'-4" X 2'-4" X 8" UNREINFORCED POURED CONC. FOOTING DOWN
	MIN 4'-0' TO UNDISTURBED SOIL
SYMBOL	N SCHEDULE DESCRIPTION
6-EX	
63	J'-0" DIA POURED CONC. PIER C/W CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 6" 46" PT, WOOD COLUMN ABOVE
C4-2 C4-3	2-1"X4" SPRUCE POST 3-2"X4" SPRUCE POST
C4-4	4-2"X4" SPRUCE FOST
C4-5 C4-6	5-2°X4" SPRUCE POST 6-2°X4" SPRUCE POST
C6-2 C6-3	2-2"X6" SPRUCE POST 3-2"X6" SPRUCE POST
C6-4 C6-5	4-2"X6" SPRUCE POST 5-2"X6" SPRUCE POST
C6-6	6-2"X6" SPRUCE POST
<b>C</b> 10	STRUCTURAL TURNED VERANDAH SUPPORT POST AS PER DETAIL
BEAM S	DESCRIPTION
8-EX	EXISTING BEAM TO REMAIN
81 82	2-2"X0" B/U SPRUCE BEAM
B3 B4	4 2"XA" B/U SPRUCE BEAM 2-2"X10" B/U SPRUCE BEAM 3-2"X10" B/U SPRUCE BEAM
85 86	4-2"XID" B/U SPRUCE BEAM 2-2"XID" B/U SPRUCE BEAM 2-2"XIZ" B/U SPRUCE BEAM
87 86	3-2"X12" B/U 5PRUCE BEAM
89 810	4-2"X12" B/U SPRUCE BEAM 2-1 3/4"X9-1/2" LVL B/U BEAM
B11 B12	3-1 3/4 X9-3/2" LVL BALDEAM 2-1 3/4"X11-7/8" LVL BAU BEAM
B13 814	3-1 3/4"X11-7/8" LVL B/U BEAM 2-1 3/4"X1'-2" LVL B/U BEAM
815 B16	3-1 3/4"X1'-2" LVL B/U BEAM
B17 B18	2-1 3/4"X1"-4" LVL B/U BEAM 2-1 3/4"X1"-6" LVL B/U BEAM
B19 B20	W250X58 STEEL BEAM
821 822	W200X27 STEEL BEAM W200X71 STEEL BEAM OR W250X58
	NOTE: ALL EXTERIOR REAMS TO BE PRESSURE TREATED SPRUCE
FLOOR	JOIST SCHEDULE
SYMBOL	DESCRIPTION
FJ-EX FJI	EXISTING FLOOR JOISTS TO REMAIN 2"X8" SPR JOISTS @ 1"-0" O/C
FJ2 FJ3	2*X8* SPR. JOISTS @ 1'-4* O/C 2*X10* SP8. JOISTS @ 1'-0* O/C 2*X10* SP8. JOISTS @ 1'-4* O/C
FJ4 FJ5	2"X12" SPR JOISTS @ 1"-0" 0/C
FJ6 FJ7	2"X12" SPR JOISTS @ 1"-4" O/C TJI/230 i1-7/8" FLOOR JOISTS @
FJB	1"-4" 0/C TJI/560 II-7/8" FLOOR JOISTS @
FJ9	1°-4° O/C TJI/560 11-7/8' FLOOR JOISTS @ 1°-0° O/C
	NOTE: INSTALL APROVED GALV. JOIST HANGERS AS REQUIRED
	ALL EXTERIOR JOISTS TO BE PRESSURE TREATED SPAUCE
ROOF R	
SYMBOL R-EX	AFTER/CLG JOIST SCHEDULE (A)
RI	REMAIN AS IS 2'X6" SPRUCE RAFTERS @ 1"-4" O/C
RZ R3	2*X8* SPRUCE RAFTERS @ 1'-4* O/C 2*X10* SPRUCE RAFTERS @ 1'-4* O/C
R4 R5	2"X12" SPRUCE RAFTERS @ 1"-4" 0/C
R6	1'-4' O/C
R7 88	2"XIO" SPRUCE RIDGE BOARD / CLEAT 2"XI2" SPRUCE RIDGE BOARD / CLEAT 2"XR" SPRUCE VALLEY/HTP RAFTER
R9 810	2"X8" SPRUCE VALLEY/HIP RAFTER 2"X12" SPRUCE VALLEY/HIP RAFTER 2"X12" SPRUCE VALLEY RAFTER ON FLAT
RH	1-3/4"XI'-4" LVL RIDGE BOARD PRE-ENGINEERED ROOF TRUSSES @
	1-4" O/C. INSTALL AS PER
Tz	PRE-ENGINEERED ROOF TRUSSES @ 1 OF D/C INSTALL AS FER MANUFACTURERS SPECIFICATIONS
CJ1	2"X6" SPRUCE CEILING JOISTS @ 1-4" O/C
CJ2 CJ3	2"X8" SPRUCE CEILING JOISTS @ 1"-4" O/C 2"X10" SPRUCE CEILING JOISTS @ 1"-4" O/C 2"X12" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ4 WC1	2"X8" SPRUCE WALL CLEAT
WC2 WC3	2"XIO" SPRUCE WALL CLEAT 2"XIJ" SPRUCE WALL CLEAT
LINTEL S	CHEDULE
L-EX	EXISTING LINTELS TO REMAIN
L1 L2	2-2"X8" SPRUCE LINTEL 2-2"X10" SPRUCE LINTEL
L3 L4	2-2"XI2" SPRUCE LINTEL 3-2"XI0" SPRUCE LINTEL
L4 L5 L6	3-2"X10" SPAUCE LINTEL 3-2"X12" SPRUCE LINTEL 2-1-3/4"X7-1/4" LVL
L0 L7	- A WINDARD LTL
	3-1-3/4"X7-1/4" LVL
L8 L9	3.2"M/ SPRUCE LINTEL %"THK X 4"W X 6"H STL LINTEL
LB	3-2"X6" SPRUCE LINITEL



Second Floor Plan

Existing Structural System to Remain "as is" Replace Compromised Structural Components to Match the Existing Original Part as Required.



 1
 Issued for Client Approval
 20 / 07 / 2017

 No.
 Description
 Date

 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION

 QUALIFICATION INFORMATION
 20726
 SIGNATURE:
 20726

 NAME
 SIGNATURE:
 20726
 SIGNATURE:
 20726

 NAME
 SIGNATURE:
 20726
 SIGNATURE:
 20726

 FIRM
 BCIN
 REGISTRATION INFORMATION
 SOCH Rushlow Associates Ltd
 20726

 FIRM
 BCIN
 BCIN
 SCONTER RUSHLOW
 BCIN

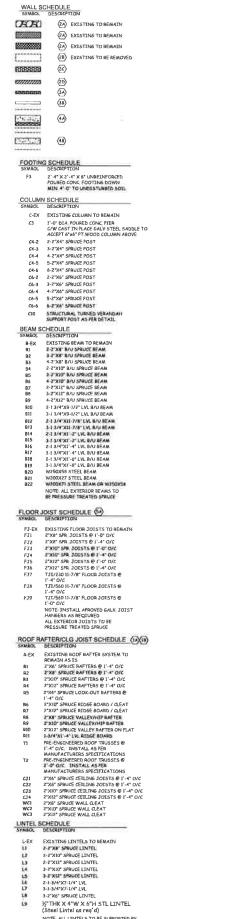
 SECONTER RUSHLOW
 AS S O C i a t c S Ltd
 110-111 Upper Dake Cres Markham ON L66 OC8 905 852 5595

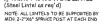
Jane McCague House C/O Leslie Elgin Developments Inc. 1121 Leslie Street Richmond Hill, Ontario

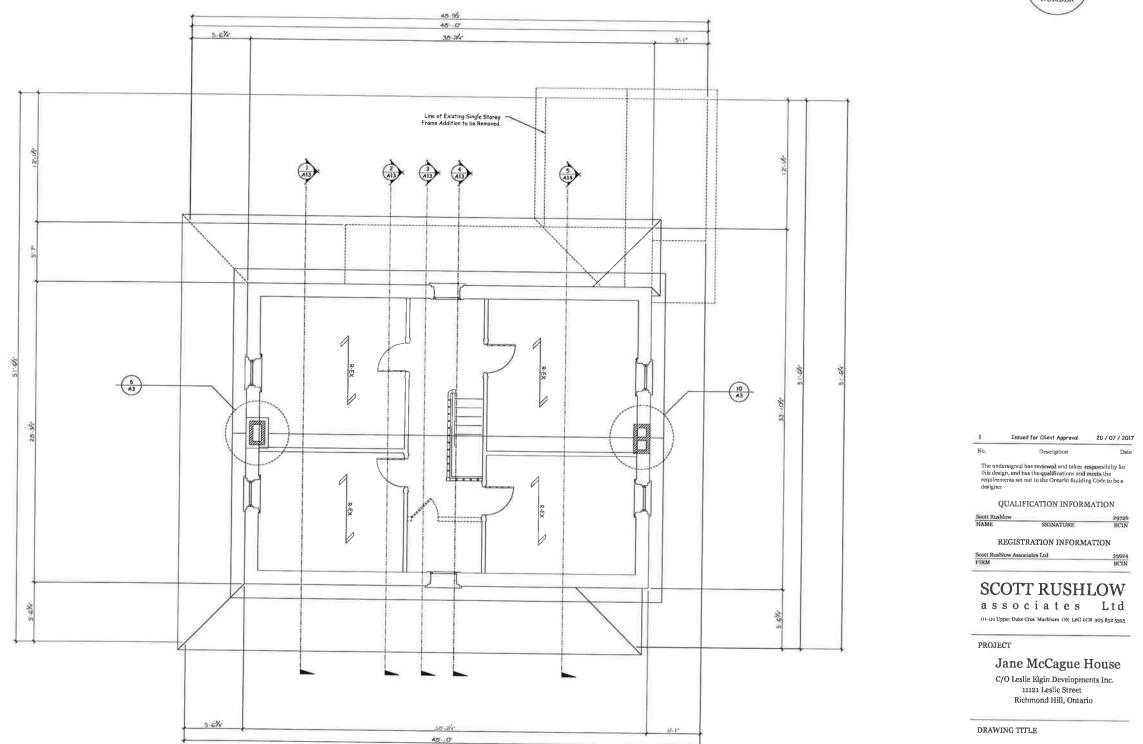
DRAWING TITLE

## Second Floor Plan

Scale:	X"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		Λ 1 1
Drawn By:	S.R.	AII
Checked By:		

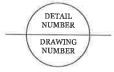






Roof Framing Plan Scale 1/1=1 -0"

Existing Structural System to Remain "as is" Replace Compromised Structural Components to Match the Existing Original Part as Required.



#### **Roof Framing Plan**

Scale:	¼"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		A 10
Drawn By:	S.R.	A12
Checked By:		



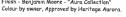
RR	DESCRIPTION
S. C. S. C. S. C.	(2A) EXISTING TO REMAIN
	<ul> <li>EXISTING TO REMAIN</li> <li>EXISTING TO REMAIN</li> </ul>
	(28) EXISTING TO BE REMOVED
100000000	<sup>1</sup>
	(21)
MULTINIA DI	32
	(38)
100000	(4A)
58509	<b>4</b> B
********	
SYMBOL	G SCHEDULE DESCRIPTION
F3	2'-4" X 2'-4" X 8" UNREINFORCED POURED CONC FOOTING DOWN MIN 4'-0" TO UNDISTURBED SOIL
COLUM	N SCHEDULE
SYMBOL C-EX	DESCRIPTION EXISTING COLUMN TO REMAIN
C3	1-0" DIA POURED CONC PIER C/W CAST IN PLACE GALV STEEL SADDLE TO
C4-2	ACCEPT 6"#6" PT.WOOD COLUMN ABOVE 2-2"X4" SPRUCE POST
C4-3 C4-4	3-2"X4" SPRUCE POST 4-2"X4" SPRUCE POST
C4-5	5-2"X4" SPRUCE POST
C4-6 C6-Z	6-2"X4" SPRUCE POST 2-2"X6" SPRUCE POST
C6-3 C6-4	3-2"X6" SPRUCE POST 4-2"X6" SPRUCE POST
<i>c</i> 6-5	5-2"X6" SPRUCE POST 6-2"X6" SPRUCE POST
с6-6 С10	STRUCTURAL TURNED VERANDAH
BEAM S	SUFFORT POST AS PER DETAIL.
SYMBOL B-EX	DESCRIPTION EXISTING BEAM TO REMAIN
B1 B2	2-2"X8" B/U SPRUCE BEAM 3-2"X8" B/U SPRUCE BEAM
83 84	4-2"X8" B/U SPRUCE BEAM 2-2"X10" B/U SPRUCE BEAM
85	3-2"XIO" A/U SPRUCE BEAM 4-2"XIO" B/U SPRUCE BEAM
87 88	2-2"XI2" B/U SPRUCE BEAM 3-2"XI2" B/U SPRUCE BEAM
89 B10	4-2'X12" B/U SPRUCE BEAM 2-1 3/4'X9-1/2" LVL B/U BEAM
B11 B12	3-1 3/4°X9-1/2° LVL B/U BEAM
812 813 814	2-1 3/4"X11-7/#" LVL B/J BEAM 3-1 3/4"X11-7/#" LVL B/J BEAM 2-1 3/4"X11-7/#" LVL B/J BEAM
814 815 816	2-1 3/4"X1"-2" LVL B/U BEAM 3-1 3/4"X1"-2" LVL B/U BEAM
B17	2-J 3/4*X1'-4* LVL B/U BEAM 3-J 3/4*X1 -4* LVL B/U BEAM
B18 B19	2-1 3/4"X1'-6" LVL B/U BEAM 5-1 3/4"X1-6" LVL B/U BEAM
820 821	W250X58 STEEL BEAM W200X27 STEEL BEAM
822	W200X71 STEEL BEAM OR W250X58 NOTE ALL EXTERIOR BEAMS TO BE PRESSURE TREATED SPRUCE
FLOOP	IDIST SCHEDULE
SYMACL	DESCRIPTION
FJ-EX FJI	EXISTING FLOOR JOISTS TO REMAIN 2"X8" SPR JOISTS @ 1'-0" O/C
FJ2 FJ3	2"X8" SPR JOISTS @ 1'-4" 0/C 2"X10" SPR JOISTS @ 1'-0" 0/C
FJ4	2"XI0" 5PR JOISTS @ 1 -4" 0/C 2"XI2" SPR JOISTS @ 1 -0" 0/C
FJ5	2"XI2" SPR JOISTS @ 1 4" O/C TJI/230 11-7/8" FLOOR JOISTS @
FJ5 FJ6 FJ7	
FJ6	1"-4" 0/C TJI/560 11-7/8" FLOOR JOISTS @
FJ6 FJ7	1'-4" 0/C TJI/560 11-7/8" FLOOR JOISTS @ 1'-4" 0/C TJI/560 11-7/8" FLOOR JOISTS @
FJ6 FJ7 FJ8	F <sup>1</sup> 4* 0/C TJI/560 II-7/8* FLOOR JOISTS € 1'-4* 0/C TJI/550 II-7/8* FLOOR JOISTS € 1'-0* 0/C NOTE: TNSTALL APROVED GALV, JOIST
FJ6 FJ7 FJ8	1°-4° 0/C TJT/560 11-7/8° FLOOR JOISTS @ 1°-4° 0/C TJT/5650 11-7/8° FLOOR JOISTS @ 1°-0° 0/C NOTE: INSTALL APROVED 6ALV. JOIST HANSERS AS REQUIRED ALL EXTERIOR JOISTS TO BE
FJ6 FJ7 FJ8 FJ9	I <sup>1</sup> /4 <sup>-</sup> O/C TJ/560 II. <sup>1</sup> /8 <sup>+</sup> FLOOR JOISTS @ I <sup>-</sup> 4 <sup>-</sup> O/C TJ/560 II. <sup>1</sup> /8 <sup>+</sup> FLOOR JOISTS @ I <sup>-</sup> 0 <sup>-</sup> O/C NOTE: INSTALL ARROVED 64.W. JOIST HANGERS AS REQUIRED ALL EXTERIOR JOISTS TO BE PRESSURE TREATED SPRUCE
FJ6 FJ7 FJ8 FJ9 ROOF R SYMBO	1'4' 0/2 1'4' 0/2 1'4' 0/2 1'4' 0/2 1'7'50 II-78' FLOOR JOISTS @ 1'0' 0/2 1'0' 0/2 NOTE: INSTALL ARROVED 6ALV. JOIST HANGERS AS REQUIRED MARKENS AS REQUIRED MARKENS AS REQUIRED MARKENS MARK
FJ6 FJ7 FJ8 FJ9 ROOF R Symbo R-Ex	1'4' 0/2 TJ/560 II-78' FLOOR JOISTS E I'4' 0/2 TJ/560 II-78' FLOOR JOISTS E I'-0' 0/2 NOTE: INSTALL ARROVED 6ALV. JOIST HANGERS AS REQUIRED MAIL EXTERIOR JOISTS TO BE PAESJURE THE ATED SPAULE FTERACLG JOISTS SCHEDULE EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS
FJ6 FJ7 FJ8 FJ9 ROOF R SYMBO R-EX R-EX R1 R2	1'4' 0/2 TJ/560 II-78' FLOOR JOISTS E 1'4' 0/2 TJ/560 II-78' FLOOR JOISTS E 1'-0' 0/2 INOTE: INSTALL ARROVED GALV. JOIST HANGERS AS REQUIRED MAIL EXTERIOR JOISTS TO BE PRESSURE TREATED SPAULE FTERACLG JOISTS SCHEDULE EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS 2'NS' SPAULE RAFTERS B' 1'-4' 0/2
FJ6 FJ7 FJ8 FJ9 ROOF R SYMIC R-EX RI	1'4' 0/C 1'1/560 IJ-76' FLOOR JOISTS & 1'4' 0/C 1'4'
F76 F37 F38 F39 ROOF R SYM80, R-EX R1 R2 R3	1'-4' 0/2 T/1/560 II-7/8' FLOOR JOISTS @ 1'-4' 0/2 1'-6' 0/2 T/1/560 II-7/8' FLOOR JOISTS @ 1'-6' 0/2 TIFSO II-1/8' FLOOR JOISTS OF NEESSARE TREATED SAVLY NEESSARE TREATED SPACE VETERCILS JOIST SCHEDULE EXISTING ROOF RAFTERS @ 1'-4' 0/2 2'NA'S SPAUSE RAFTERS @ 1'-4' 0/2
F36 F37 F38 F39 ROOF R SYMBO N-EX R-EX R3 R4	1'4' 0/C 1'1/560 IJ-76' FLOOR JOISTS & 1'4' 0/C 1'4'
F36 F37 F38 F39 F39 ROOF R SYMBO R-EX R1 R2 R3 R4 R5 R6	1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-6' 0/2
F36 F37 F38 F39 F39 Symao, R-Ex R3 R4 R5 R4 R5 R4 R5 R4 R5 R6 R7 R8	1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-6' 0/2
F36 F37 F38 F39 F39 F39 F39 Symlick R-Ex R3 R4 R5 R4 R5 R4 R5 R6 R7 R8 R9 R10	I'-4' O/C TJ/250 II-7/8' FLOOD JOISTS @ I'-4' O/C TJ/250 II-7/8' FLOOD JOISTS @ I'-0' C TJ/250 II-7/8' FLOOD JOISTS @ I'-0' C HALE XYTERIOR JOISTS TO BE PRESSURE TEAS FOUNDED ALL XYTERIOR JOISTS TO BE PRESSURE TEAS FOUNDED SCRUTTION EXCISITIVE ROOP RAFTERS @ I'-4' O/C 2'XIS 'SPRUCE RAFTERS @ I'-4' O/C 2'XIS 'SP
F36 F37 F38 F39 ROOF R. SYMBO R-EX R1 R2 R3 R4 R5 R6 R7 R5 R6 R7 R7 R1 R1 R1	1'-4' 0/2 1'-4' 0/2
FJ6 FJ7 FJ8 FJ9 S7MBQ B-EX RJ R5 R6 R5 R4 R5 R4 R5 R6 R11 R1 T1 T2	I'-4' 0/2 T/1/560 II-7/8' FLOOR JOISTS @ I'-4' 0/2 T/1/560 II-7/8' FLOOR JOISTS @ I'-4' 0/2 T/1/560 II-7/8' FLOOR JOISTS @ I'-4' 0/2 T/1/50 II-7/8' FLOOR JOISTS OF MESSURE TREATED SPAUCE MESSURE TREATED SPAUCE MESSURE TREATED SPAUCE MESSURE TREATED SPAUCE MESSURE TREATED SPAUCE MESSURE RAFTERS @ I'-4' 0/2 2'XIS' SPAUCE VALLEY/HTP RAFTER 2'XIS' SPAUCE VALL
F36 F37 F38 F39 F39 SymBo, SymBo, R4 R5 R3 R4 R5 R5 R5 R5 R5 R1 R1 R1 R1 T1	1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-4' 0/2 1'-5' 0/2 1'-4' 0/2 1'-5' 0/2 1'-4' 0/2 1'-5' 0/2
F36 F37 F38 F39 F39 F39 S3M800, B-Ex B1 R2 R3 R4 R3 R4 R5 R5 R5 R6 R7 R7 R7 R7 R3 R4 R5 R5 R5 R5 R5 R5 R5 R5 R5 R5 R5 R5 R5	1'4' 0/C 1'1/560 II-716' FLOOR JOISTS & 1'4' 0/C II/560 II-716' FLOOR JOISTS @ II/560 II-716' FLOOR JOISTS @ II/560 II-716' FLOOR JOISTS @ II/560 II/560 FAUX JOIST NOTE: INSTALL ARROYED FAUX JOIST HANESAS AS REGURED ALL EXTERIOR JOISTS SCHEDULE EXECUTIVE ROOP RAFTER SYNCE EXECUTIVE ROOP RAFTER SYNCE EXECUTIVE ROOP RAFTER SYNCE EXECUTIVE ROOP RAFTER SYNCE EXECUTIVE ROOP RAFTER SYNCE II-4' 0/C II/4' 0
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F36 F37 F37 F39 F39 S1980C R39 R39 R3 R4 R3 R4 R3 R4 R3 R4 R3 R5 R5 R1 T1 T2 C21 C21 C21 C21 C21 C21 C21 C21 C21 C2	1'4' 0/C TJ/260 II-7/8' FLOOR JOISTS @ 1'4' 0/C TJ/261 II-7/8' FLOOR JOISTS @ 1'4' 0/C TJ/261 II-7/8' FLOOR JOISTS @ 1'4' 0/C INSTEL ARROWED FAIN, JOIST HANEERA SERVINED ALL EXTERIOR JOISTS TO BE PRESSAURE TEAS EQUINED ALL EXTERIOR JOISTS TO BE PRESSAURE TEAS EQUINED ALL EXTERIOR JOISTS TO BE PRESSAURE TEAS EQUINED ALL EXTERIOR JOISTS TO BE PRESSAURE TEAS EASTERS @ 1'-4' 0/C 2'ALL SYMUCE RAFTERS ORD OF TAUSES MANUFACTURERS SPECIFICATIONS 2'ALL SYMUCE ROLTHING JOISTS @ 1'-4' 0/C 2'ALL SYMUCE ROL ALL GEAT 2'ALL S
F36 F37 F37 F39 F39 S1980C R39 R39 R3 R4 R3 R4 R3 R4 R3 R4 R3 R5 R5 R1 T1 T2 C21 C21 C21 C21 C21 C21 C21 C21 C21 C2	1'4' 0/C 1'1/560 II-716' FLOOR JOISTS E 1'4' 0/C II/1561 II-716' FLOOR JOISTS E 1'4' 0/C II/1561 II-716' FLOOR JOISTS E II/1561 II-716' FLOOR JOISTS E II/1561 II-716' FLOOR JOISTS E II/1561 II-716' FLOOR JOISTS E II/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 IIII/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1562 III/1573 IIII/1562 III/1562 III/1562 III/1573 IIII/1562 III/1562 III/1562 III/1573 IIII/1562 III/1562 III/1562 III/1573 IIII/1562 III/1562 III/1562 III/1573 IIIII/1562 III/1562 III/1562 IIII/1573 IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII
F36 F37 F37 F39 F39 F39 F39 F39 F39 R60 R6 R6 R6 R6 R6 R6 R8 R4 R5 R6 R6 R1 R1 T1 T2 C22 C22 C22 C22 C22 C22 C22 C22 C22	I'-4' O/C TJ/260 II-7/8' FLOOR JOISTS @ I'-4' O/C TJ/261 II-7/8' FLOOR JOISTS @ I'-6' O/C TJ/261 II-7/9' II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' TJ/261 II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' II-7/9' TJ/271 II-7/9' II-7/
F36 F37 F37 F37 F37 F39 F39 F39 F39 F39 F39 F39 F39 F39 F39	I'-4' O/C TJ/260 II-7/8' FLOOR JOISTS @ I'-4' O/C TJ/261 II-7/8' FLOOR JOISTS @ I'-6' O/C TJ/261 II-7/8' FLOOR JOISTS @ I'-6' O/C HALE SYTERIOR JOISTS TO BE PRESSARE TEAS FOUNDED ALL SYTERIOR JOISTS TO BE PRESSARE TEAS FOR A SYSTEM TO REMAIN AS IS TSCOTTON EXCISION FOR AFTERS @ I'-4' O/C TSCOTTON TSCOTTON EXCISION FOR AFTERS @ I'-4' O/C TSCOTTON EXCISION FOR TSCOTTONS PRE ENDINEERED ROOT TRUSSES @ I'-4' O/C TSCOTTON EXCISION EXCISION FOR AFTER PAR SPRUCE CELLING JOISTS @ I'-4' O/C TSCOTTON EXCISION EXCISION FOR AFTER PAR SPRUCE CELLING JOISTS @ I'-4' O/C TSCOTTON EXCISION EXCISION EXCISION FOR AFTER PAR SPRUCE CELLING JOISTS @ I'-4' O/C TSCOTTON EXCISION EXCISION EXCISION FOR AFTER PAR SPRUCE CELLING JOISTS @ I'-4' O/C TSCOTTON EXCISION EXCISION EXCISION EXCISION FOR AFTERS AFTERS AFTER PAR SPRUCE CELLING JOISTS @ I'-4' O/C TSCOTTON EXCISION EXCISION EXCISION EXCISION EXCISION EXCISION FOR AFTERS AFTERS AFTERS AFTER AFTERS AFTERS AFTERS AFTERS AFTERS AFTERS AFTER AFTERS AF
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F36 F37 F37 F37 F39 F39 F39 F39 F39 F39 F39 F39 F39 F39	I'-4' O/C TJ/260 II-7/8' FLOOD JOISTS @ I'-4' O/C TJ/261 II-7/8' FLOOD JOISTS @ I'-7' O/C TJ/261 II-7/8' FLOOD JOISTS @ I'-7' O/C TAUS DI II-7/8' FLOOD JOISTS @ I'-7' O/C TREACH & ARONE DA AND SAN TO BE RESUME THE ACT TO BE RESUME THEAT DS SPUCE EXCENTING ROOF RAFTERS @ I'-4' O/C 2'/A'' SPUCE RAFTERS DOOF TRUSSES @ 1'-4' O/C 2'/A'' SPUCE RAFTERS DOOF RUSSES @ 1'-4' O/C
F36 F37 F37 F39 F39 F39 F39 F39 F39 F39 R00 FR R5 R8 R6 R6 R7 R8 R8 R8 R8 R8 R8 R1 R1 T1 T2 C22 C3 C3 C4 C4 C4 C4 C4 C4 C4 C4 C4 C4 C4 C4 C4	1'4' 0/C 1'1/560 II-718' FLOOR JOISTS @ 1'4' 0/C II/561 II-718' FLOOR JOISTS @ 1'4' 0/C II/562 II-718' FLOOR JOISTS @ II/562 II-718' FLOOR JOISTS @ II/562 II/5718' FLOOR JOISTS @ II/572 II/5718' FLOOR JOINT JOINT 2718' 57810' FLOOR JOINT 2718' 57810'
F36 F37 F37 F38 F39 F39 F39 F39 F39 R60 R6 R6 R6 R6 R6 R6 R8 R6 R8 R6 R8 R8 R8 R8 R8 R8 R4 R9 R1 R1 T1 T2 C22 C22 C22 C22 C22 C22 C22 C22 C22	1'4' 0/C 1'1/560 II-716' FLOOR JOISTS @ 1'4' 0/C II/561 II-716' FLOOR JOISTS @ 1'4' 0/C II/562 II-716' FLOOR JOISTS @ II/562 II-716' FLOOR JOISTS @ II/562 III/562 II/562 II/562 II/562 II/562 II/562 II/562 II/562 III/562 III/562 II/562 II

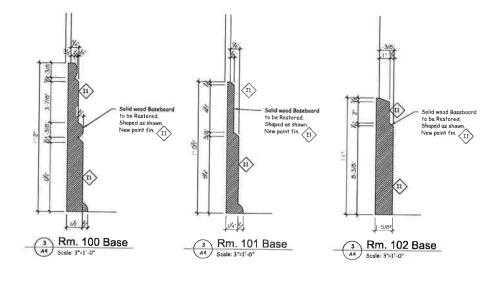
6\_25+/-(2A) U/S Ceiling 61 2 20) Top Plate 2 100 5 25+/-12 (2A) (EA) (2A) (2A) Tep Second Floor U/S Ceiling (2) 2 (ZA) (2A) Top Ground Floor Top Fieldstene Fdn Wall Grade 0 Existing 12"WX10"H -Timber Beam to Remain A 20 Top Cellior Slab

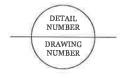
INTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

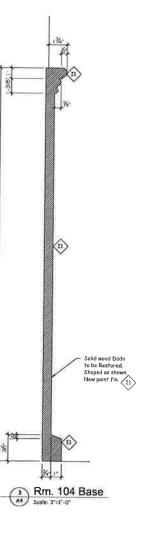
IN DESCRIPTION INTERIOR WOODWORK (General Nate) Existing Anterior woodwork to be restored and or replaced as required to match original farm. Scrope and sond woodwork and make ready for point finish as needed. Interior Paint Finish, Paint 3 cost work 1 Primer, 2 Finish, Paint 7 cost work 1 Primer, 2 Finish, Paint 3 cost work 1 Primer, 2 Finish, Barer "Fresh Start" Finish, Bergiamin Moore - "Fresh Start" Colour by owner, Approved by Heritage Aurora. 

5 Section A14 Scale 1/1\*=1'=0"



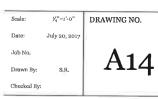


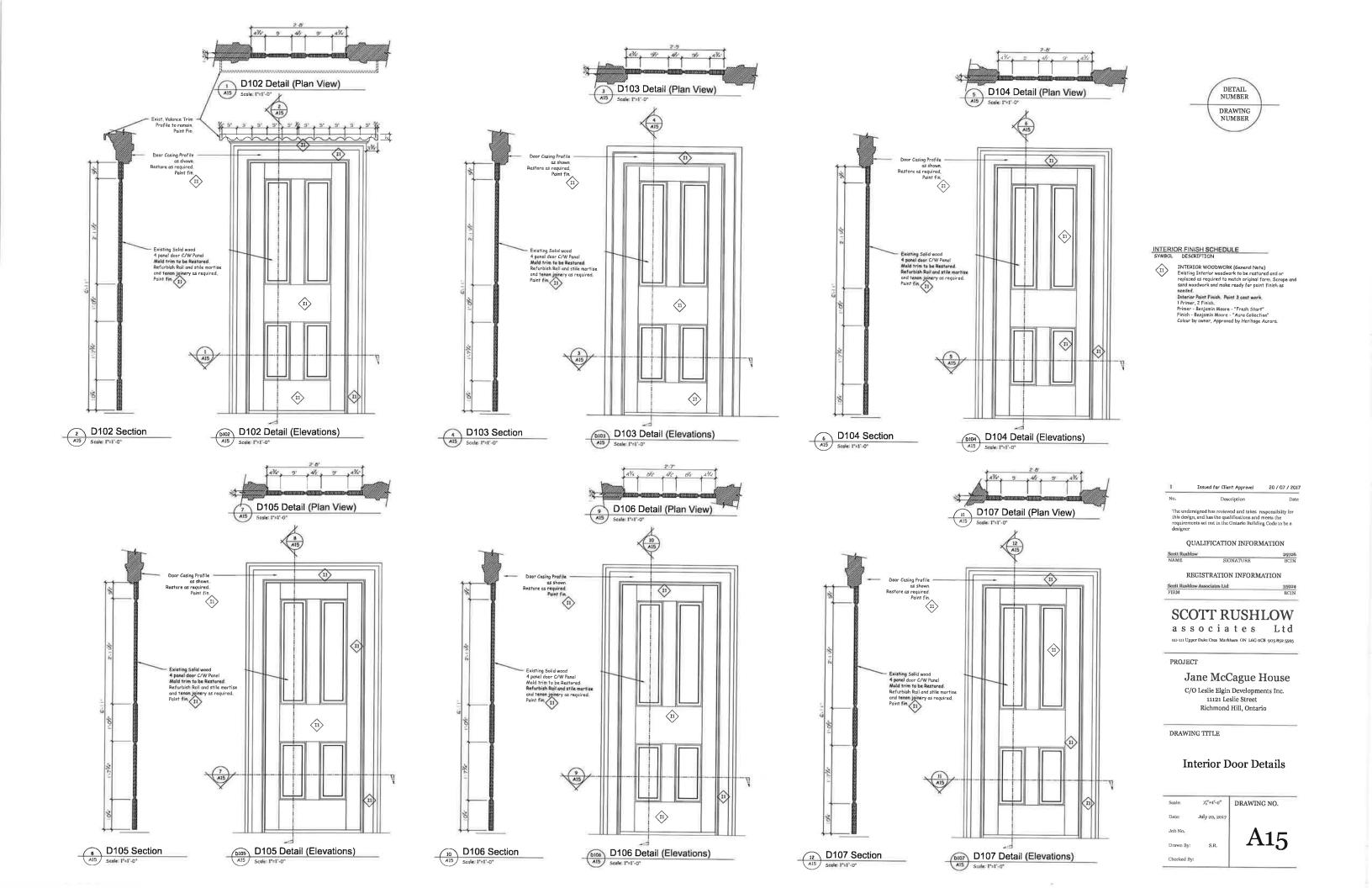


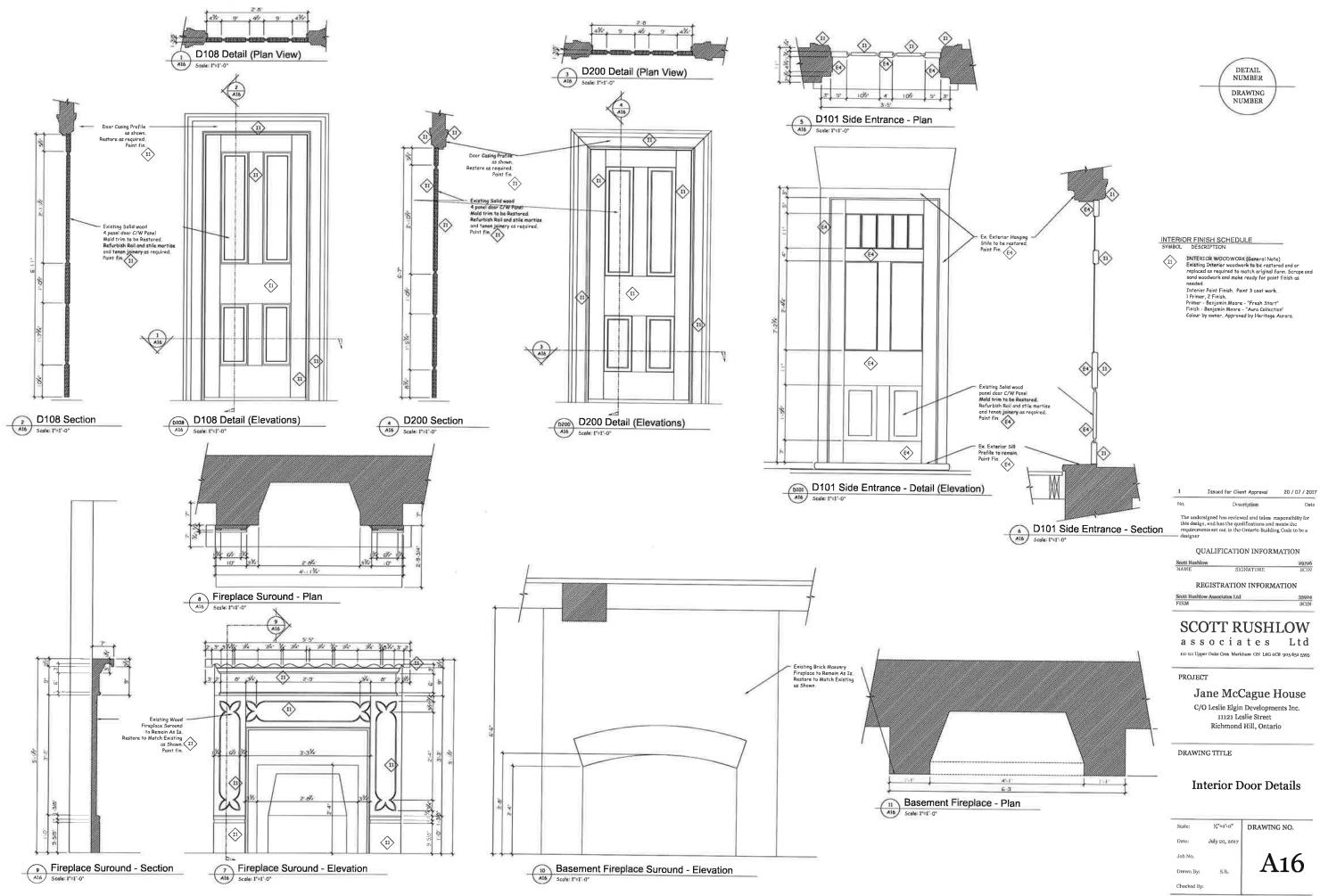


No.	Description	Da
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	QUALIFICATION INFORM	IATION
Scott R		29726
NAME	SIGNATURE	BCIN
	REGISTRATION INFORM	
FIRM	ushlow Associates Ltd	35924 BCIN
SC	COTT RUSH	LOW
	COTT RUSH	LOW Ltd
a s		Ltd
a s	SSOCIATES Upper Duke Cress Markham ON L6G oc	Ltd
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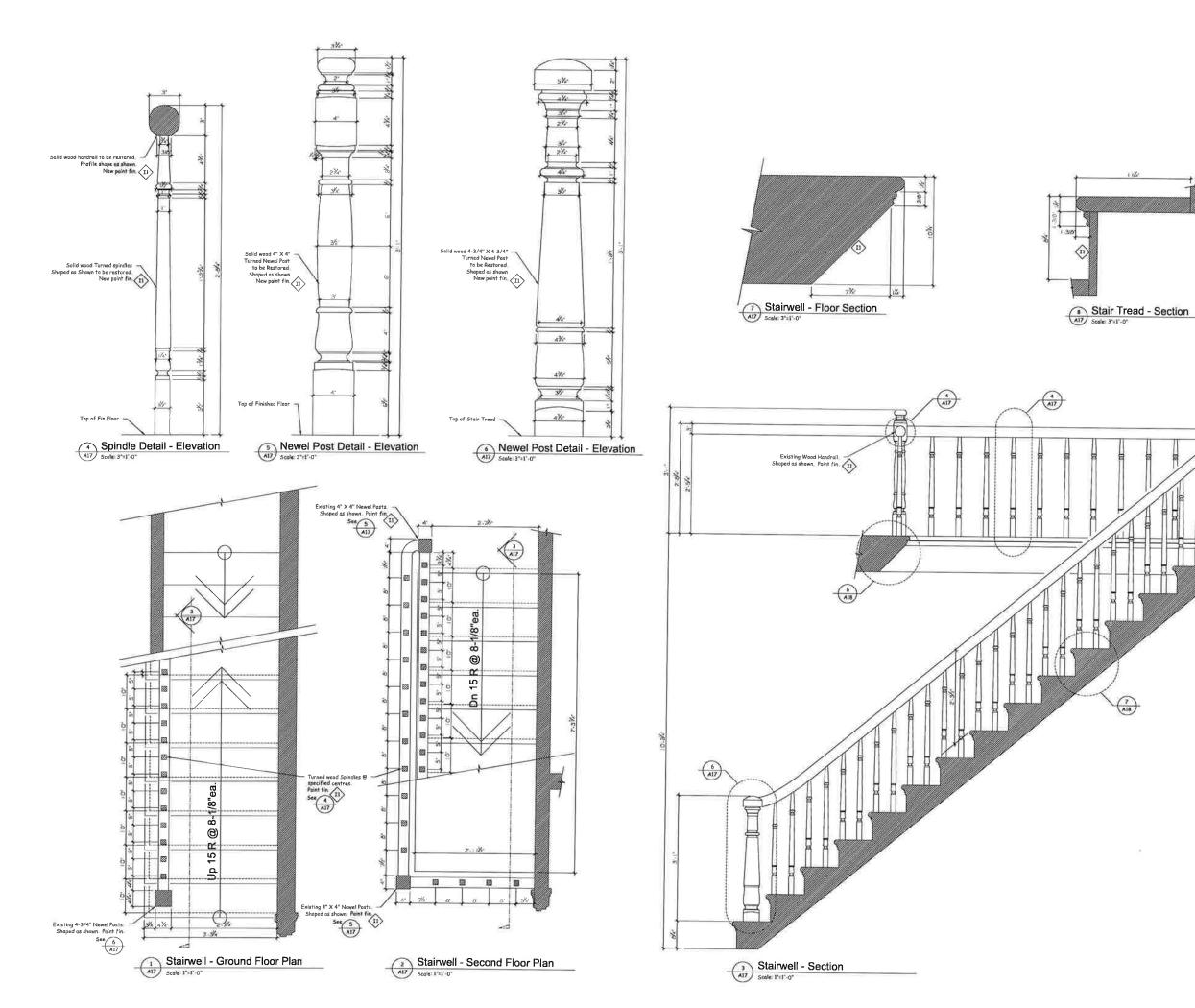
## **Building Sections** Interior Base Details

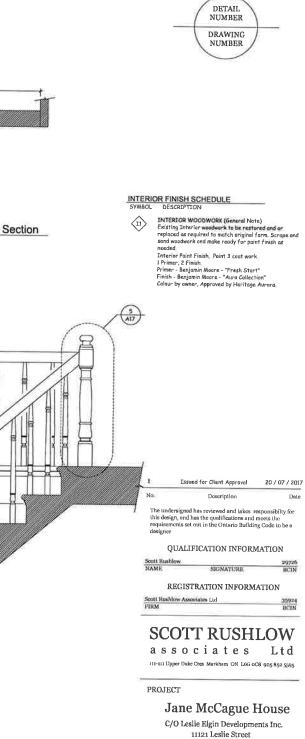










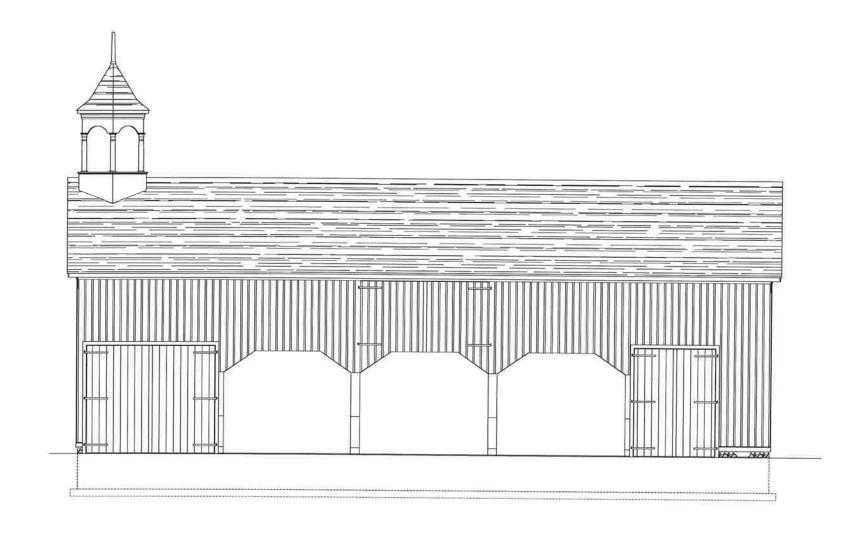


Richmond Hill, Ontario

DRAWING TITLE

### Interior Stair Details

Scale:	Nu=1,-0,,	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	AI'
Checked By:		



# The "Jane McCague House Driveshed" Replication/Restoration Plan

DETAIL NUMBER DRAWING NUMBER



ued for Client Approval

20 / 07 / 201

Jane McCague Driveshec C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Cover Sheet**

Scale:	¥"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

#### CONSTRUCTION NOTES (unless otherwise noted)

## All construction to comply with these plans and specifications and to the Ontario Building Code (current edition) and to all other applicable codes and authorities having jurisdiction, These requirements are to be considered minimum

 $\langle \mathbf{n} \rangle$ TRUSS ROOF CONSTRUCTION

Pre-Finished Aluminum roof sheathing (Install as per manufacturers specifications / as per elevations).  $1/2^{\circ}$  spruce ply caterior sheathing with "H" elips. Approved pre-engineered wood insesse @ 1-4" o(c. max. (Insees to be installed as per manufacturers specifications) Approved eaves protection to extend 3' o" from edge of roof and min. '.o" beyond inner face of exterior well. Pre-finished aluminum eaves-inrough, fasce (as per elevations), vented sofiit and RWL, Attic ventilation 1:300 of insulated ceiling with 50% at eaves. Noto insulation min. R-3: batt insulation and approved apport barrier at aloged ceilings (vm min.3" of a page between u's deck and top of insulation. Attic insulation R-60 and approved vapour barriers,  $5/8^{\circ}$  int. drywall finish or approved equal,

#### (18) CONVENTIONAL ROOF CONSTRUCTION

CONVENTIONAL ROOP CONSTRUCTION Min, No, 'good on phala teining is a per cleavious), 1/2" apruce ply exterior sheathing, 2"X4" Spr. Cross Purlins @ 2'-0" (O/C, Min, 2" x 10" apruce rollens @ 1'-4" o/c. (see plan for mfor size), Approved awase protection to extend 3'-0" (tom edge of root and min '-0" byond inner face of exterior well. Pr.-finished luminum wave-through, fascia (se per clevations), vented soffit, and RWL. Attie ventilation 1:300 of insulated ceiling with 50% at eaves; (pre-finished aluminum ridge yent at taloped ceiling as required). Roof insulation min, R-2; bett insulation and approved vapour barrier at sloped ceilings et/w min, 2,5" air space between u/s deck and top of insulation, 2%' int dywalf finish or approved que.l. Horizontal ceiling as supliced "x septore refree § 1-4" (c. (see plan for ceiling joist size and connection details). Flat ceiling insulation, min, R-60 batt insulation and approved vapour barrier, 5/8" int. drwalf finish or approved ceude. joist size and connection details). Fla int drywall finish or approved equal.

- Existing Wall, Floor, Celling or Roof structure to remain. Contractor to refurbish existing structural components, as required, to meintain the original performance level. (Modify as per plan) (21)
- (28) Existing walls to be removed. Contractor to provide temporary bracing as required prior to demolition
- $\langle 2C \rangle$ FRAME WALL CONSTRUCTION (2"x6")

Exterior siding or other as per elevations, (horizontal wood siding c/w 1'x3"vertical spruce strapping @ 1-4"o/c, vertical wood siding c/w 1'x3" horizontal spruce strapping @ 2-0" o/c). Typar air barrier or equal c/w pre-finished aluminum drip at siding/foundation wall junction (typ.), 1/2" spruce ply exterior sheathing, 2"x6" spruce studa @ 1'4" o/c. (provide - 2"x6") plates; 2-top, 1 bottom). R-2a batt insulation and approved vapour barrier. 1/2" dyrwall finish or approved equal, NOTE; For two story volume spaces from 10-6" max.high walls provide 2-2"x6" spruce studa 2-2" spruce studa 2-2"x6" spruce studa 2-

FRAME WALL CONSTRUCTION (2"x4") (20)

Exterior siding or other as per elevations, (horizontal wood siding c/w1<sup>\*</sup>X3<sup>\*</sup>vortical spruce strapping @1<sup>\*</sup>.4<sup>\*</sup> o/c, vertical wood siding c/w1<sup>\*</sup>X3<sup>\*</sup> horizontal spruce strapping @2<sup>\*</sup>.0<sup>\*</sup> o/c). Approved sheathing paper c/w pre-finished alumium drip at siding/conduction wall junction. 1/2<sup>\*</sup> spruce ply exterior sheathing. 2<sup>\*</sup>X4<sup>\*</sup> spruce studs @1<sup>\*</sup>.4<sup>\*</sup> o/c. (provide 2<sup>\*</sup>X4<sup>\*</sup> plates; 2<sup>-</sup>top, 1 bottom).

4" MASONARY VENEER CONSTRUCTION (2"x6") (2E)

4" misonary veneer (as per clevations). 1" air space, 7/8"x3"x0.03" galvanized metal lies @ 1'-4" o/c horizontal and 2'-0" o/c vertical. Typar air barrier c/w holtom course flashing up min 0" behind air barrier. Provide weep holes @ 2'-8" o/c. bolitom courses of asking up min 0" behind air barrier. Provide weep holes @ 2'-8" o/c. bolitom courses and over openings. 1/2" space pit yeaterier sheathing. 2'\*o" space of yeateries that and 2'-4" o/c.

(provide 2"x6" plates; 2-top, 1-bottom), R-24 bett insultation and approved vapour berrier, 1/a" drywall finish or approved equal, NOTE; For two slory volume spaces from 10<sup>-0</sup>" to 18<sup>5</sup> o" max, high walls provide 2\* at a spruce stude  $\theta$  1-0" o/c, c/w 1/2" spruce ply sheathing. Provide 2\*x6" solid wood blocking  $\theta$  4-0" o/c

 $\langle 2F \rangle$ 4" MASONARY VENEER CONSTRUCTION (2"x4")

" masonary voneer (as por elevations), 1" air space, 7/8"x7"x0.03" galvanized metal lies @ 1'-4" o/c 

 $\langle 3A \rangle$ INTERIOR STUD DEARING PARTITIONS

For bearing partitions 2"x4" sprace studs @ i\*4" o/c for 2 storeys and i\*0" o/c for 3 storeys. (provide 2"x4" plates 2+60, i+bettom. c/w 2"x4" sprace blocking @  $4^{-0}$  o/c brittantal). //2" drywall finish each side. NOTE: 2" x6" sprace studs @ >1" of o/c partitions where noted on plan,

INTERIOR STUD NON-BEARING PARTITIONS

2"xq" apruce studs @ 1'-q" o/c. c/w. 1/2" drywall finish each side. Provide 2"x6" studs @ 1'-4" o/c. c/w. 1/2" drywall finish each side where nexted plan. (for all partitions provide fail width plates; 2-top, 1-bottom).

- $\langle 1 \rangle$ FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4)
  - inous drainage layer. Bitumen damproofing. Continous poured concrete foundation wall Approved continuous draininge layer. Bitumen damproofing. Continuus poured concrete foundation wall (25/Mpo 2/w, 45/kb citetation paper) (25/Mpo 2/w, 45/kb citetation paper), 45/Mpo 2/w, 45/kb citetation paper), 45/Mpo 2/w, 45/kb citetation paper), 45/Mpo 2/w, 45/kb citetation paper), 45/kb cite

#### $\langle 4B \rangle$ FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4)

Continuous poured concrete foundation wall (32Mpa/with fibre) e/w Steel Reinforcing as per note. (see foundation plan for wall thickness). Genudar fill as required on both sides of foundation wall, composeted as required. If thick continues strip concrete footing set on natural undisturbed solir composeted or with min. bearing copacity of 3000 for greater. (see foundation plan for footing width). Footing c/w 2-15 mm bar set in this with outside fee of foundation wall solver and up 2<sup>-1</sup> from u/s of footing. ole: Foundation wall c/w 15m bar @ 1'-0" o/c ea. way.

- (AC) BEAM POCKET or 12"x8" poured concrete nib walls. Min 5%" end bearing
- STEP FOOTING CONSTRUCTION-(see O.B.C. 9.15.3.8)
- Min horizontal step 2'-0". Max, vertical step 2'-0" for still soil and 1'-4" for sand and gravel.

(4E) INTERIOR WOOD FRAMED BEARING WALLS AT FOUNDATION The book twood 's (1-4'') of (-) (c) (provide 2'x4'') places 2-top. 1-bottom, 2'x6'' spruce blocking @ 4'-0' o(c) horizonta). Stud wall set on 1 course 6'' thick unit block masonary c(w 1/2'' dia. x 8'' long anchor bolts @ 7'-0'' of max. (Damproofing material between masonary and bottom place. Fill block exities with concrete). 8 thick x 1'-10'' wide continuous strip concrete construct footing set on natural unsitutive bot or compacted arginered fill with min. bearing capacity of good pat. Footing c/w 2+10mm bar set in line with outside face of block above abd up 2'' from u/s footing.

 $\langle 4F \rangle$ "X3" spruce strapping on both sides of steel beam

(51)

- SUBFLOOR, JOISTS, STRAPPING AND BRIDGING
- Min\_3/4. TRG sprince physiological matrices are balance for joints as required, (see plan for joint size and spacing). (NOTE: For pre-regimered joint systems install as per manufacturers specifications). Solid bridging @ 4-0° o/c. max. All joints to be strapped with "x3" sprace (if 6'11" 0/c. unless a panel type ceiling finith is applied, install approved meall joint hanges as negative. See Plan for SB-3 fire separation assembly Requirements. Absorbtive material to be 3.5° thk. rock slag mineral wool.
- Exposed floor to exterior provide R-31 batt insulation and approved vapour barrier. Continous air berrier, pre-finished aluminum soffit, unless otherwise nated on plan.  $\left< 5^{\text{B}} \right>$
- $\langle 6A \rangle$ BASEMENT SLAB-(see O.B.C. 9,16) 4" 25 Mpa concrete slab on min. 4" thick layer course clean granular fill. Granular fill beneath this layer must be well comparted.
- GARAGE, EXTERIOR SLABS 6" (10Mpa / with fibre) concrete slab with 5-8% air entrainment on 6" thick layer 3/4" clear washed stone. Slab reinforced with 15mm bar @ 1'-o" Ea, way placed at mid-depth of slab. Compacted native sub-base. Slope slab
- $\left< \begin{array}{c} 6C \end{array} \right>$  COLD CELLAR PORCH SLAB For max,  $\phi^*, \sigma^*$  porch depth  $g^*, g_2M$  pa concrete slab with 5-8% sir entrainment. Reinforced with tumm bars @ 1-0° ex, way in bottom third of also:  $g^*, \sigma^*, xg^*, \sigma^*$  devides @ 2-0°  $\sigma/c$  anchored in perimeter foundation walls. Sloped slab min, Si to coarcier
- ALL STAIRS/EXTERIOR STAIRS-(see O.B.C. 9.8) Max. rise 7-7/8", Min. run 8-1/4", Min. tread 9-1/4", Max. nosing 1", Min. headroom 6-55", Rail @ landing 2-11", Rail @ stair 2-6", Min. stair width 2-10", FOR CLRVED STARRS: Min. run 6", Min. average nin 8". HANDRAILS AND GUARDS: Provide pickets spaced 4" max. between pickets. Interior guards up 2'-11" min. Exterior guards up 2'-11" min. Above 5'-11" above ground lavel guards to be up 3'-6" min.
- 5/8" gypsum drywall on wall and ceiling between house and garage. R-24 insulation in walls, R-31 in ceiling. Tape and seal all joints gas tight.
- (0) Door and frame gas-proofed, Door equiped with solf closing device and weather stripping
- (10) Precast concrete step or pressure treated wood step. Max rise 7-7/8", Min tread 9-1/4", (typ.)
- $\langle u \rangle$ Capped dryer exhaust vented to exterior
- (12) Attic access hatch 1'-8" x 2'-4" with weather stripping, R-24 rigid insulation backing
- FIREPLACE AND CHIMNEY CONSTRUCTION-(sec O.B.C. 9.21, and 9.22.) Top of fireplace chimney shall be 3'o" above the highest point at which it comes in contact with the roof and 2'o" howe the roof surface within a horizontal distance of 10'-0" from the chimnes
- (4) Linen closel, 4 shelves min, 14" deep.

The "Jane McCague House Driveshed" Conservation Plan Synopsis

This Conservation Plan identifies and documents the above named original features and provides guidance for their replication,

The "Jane McCague House Driveshed" Conservation Plan has been prepared in observance of the findings of the

Cultural Heritage Impact Assessment Report drafted by Wayne Margan, Decomber 2015. Article '5.4 Statement of Cultural Heritage Volue' of the CHTA identifies the following heritage attributes worthy of conservation and are replication as required including:

the rectangular plan of the building with its ground floor openings on the

The true longuage planes ine bounding with its ground theor openings on the morth elevation and symmetrically arranged openings on the gable ends; the gable read: the baffy with its turned posts, conical roof and finial: the baard and batten siding; the saah in the window openings; and the baard door on the west opening on the north elevation.

LUMBER:

1,101.45ft2 1,093.85ft2 432.50ft2

58,38/t2 N/A N/A

2,686,18/12

- 1) All lumber shall be spruce no.2 grade or better, unless otherwise noted
- 2) Studs shall be stud grade spruce, unless otherwise noted

- concrete by at least 2mit. re least 6" above the ground.

STRUCTURAL STEEL:

- 2) All structural steel shall be CSA G40.21-M-300 and 350W for H.S.S. Class II.
- CONCRETE:

- Provide 5-8% air entrainment for all concrete exposed to exterior
- 4) All reinforcing steel to be deformed bars conforming to CSA G30-12-M Grade 400-5) Cold weather construction shall conform to CSA Standard CSA-A23.1-M84. Provide temporary enclosure and heating as required.
- MASONARY
- 1) Masonary construction shall conform to CSA Standard CAN3-A371-M84.
- 3) All concrete blocks shall have a minimum ultimate compressive strength of 22 Mpa on net area
- Mortar for all masonary walls shall be Type "S" as defined in CSA Standard A179-M1976.

manufacturers specifications

- A1 **Exterior Elevations** A2 **Exterior Details A**3 Exterior Details Exterior Details

- **A8 Building Sections**
- A9 **Building Details**
- A10

Domestic Water Service Sanitary Sewer Gas Service Jane McCogue House Driveshed to be Replicated

> "Jane McCague House Driveshed" to be Replicated as Per Plan

Conservation Work Reference Plan

Notes | Construction Notes/Drawing Schedule

DRAWING SCHEDULE

- A4
- A5 Foundation Plan / Ground Floor Plan
- Second Floor Plan / Roof Framing Plan A6
- A7 **Building Sections**

(15) Mechanical exhaust fan, venled to exterior, to provide 1 air change per hour,

EXPOSED BUILDING FACE-(see O.B.C. 9.10.14)

(16)

(18)

(19)

WINDOWS

AREA CALCULATIONS:

Covered Verandah Area:

Deduct all open areas: Finished Basement Area:

Ground Floor Area: Second Floor Area: Third Floor Area;

TOTAL NET AREA:

GENERAL NOTES

SMOKE ALARM-(see O.B.C. 9.10.19.3)

(21) LIGHTING (see O.B.C. 9.9.11.)

Exterior wells to have a fire resistance rating of not less than 45 min. where limiting distance less than 3-11". Where the limiting distance is less than 1-11" the exposing face shall be clad in non-combustable material. Max, percentage of unprotected openings as per Table O.B.C. 9.10,14.A.

All required smoke alarm and viaual devices to be installed as per O.B.C. 9.10.19.3. Install minimum J alarm and visual device on each storey including basements and I alarm and visual device per sleeping area plus minimum 1 alarm and visual device per followy servicing sleeping areas. Alarms to be connected to an electric circuit and interconnected to setivate all alarms if I sounds.

CARBON MONOXIDE DETECTOR-(see O.B.C. 9.33.4)

All carbon monoxide detector alarm requirements to be installed as per O.B.C. 9.33.4# Carbon monoxide detector alarms to be connected to an electric circuit and interconnected to activate all alarms if L sounds,

MAIN BATH SOLID BLOCKING REQUIREMENT (see O.B.C. 9 5.2.3) Provide Solid wood blocking to accomplate future W/C and Shower support bars as per O.B.C. 9.5.2.3. For W/C gab bar blocking install as per C.B.C. 3.4.3.6(1) (d). For Shower grab bar blocking install as per C.B.C. 3.4.3.(1) (f)

REQUIRED EXIT SIGNS (see O.B.C. 9.9.10.)

t) MINIMUM BEDROOM WINDOW (see ().BLC 9.7.1.3) At least one bedroom window on a given floor is to have a min. 0.35m2 unobstructed glaved or openable area with min, clear width 1'-3'

2) WINDOW GUARDS-(see O.B.C. 9.7.1.6. and 9.8.8.) WINDOW GORIDA-GREED, BLC 37,16, and 9,8,8,9 A guard or a window with a maximum estricted opening width of 4" is required where the top of the window will is located less than 1-6" above fin. floor and the distance from the fin, floor to the adjacent grade is greater than 5' 11".

3) WINDOW IN EXIT STAIRWAYS-(see O.B.C. 9.7.5.2.) Windows in exit starways that extend to less than 3'-6" above the landing shall be protected be barriers or railings located 3'-6" above such landings.

Mechanical ventilation is required to provide 0.3 air changes per hour averaged over 24 hours. See Mechanical drawings for all Heating, Ventilation, and Air-conditioning requirements

All roof overhangs to be 1'-4" unless otherwise noted on EXTERIOR ELEVATIONS

COVERAGE w/o verandah(s): COVERAGE w/ verandah(s): Total Building Arca: Lot Area: % Lot Coverage: OFFICE SUITE AREA: 1,029 38 ft2

RESIDENTIAL SUITE AREA: 1,598,41 Åz

CONTRACTOR MUST VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND JOB SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SCOTT RUSHING ASSOCIATES I.TD.,

3) Lumber exposed to the exterior to be spruce no.2 or better, pressure treated or axdar, unless otherwise noted All laminated veneer lumber (I.V.L.) beams, girder trusses, and metal hanger connections supporting roof framing to be designed and certified by truss manufacturer.

5) All L.V.I, beams shall be 2.0F. WS Micro-lam L.V.L. (Pb=2800psL min.) or better by TRUS JOIST MacMILLAN, Built-up L.V.L. beams to be connected as per monufacturers specifications. T.J.L. joist shall denote wood "I" joists manufactured by TRUS JOIST MacMILLAN. I.V.L beams and T.J.J. joist framed to the side of another wood member shall be supported by approved metal hangers.

6) Wood framing not treated with a wood preservative, in contact with concrete shall be separated from the concrete by at least 2mil. Polyethylene film or other damproofing material, except where the wood mem

 All lintels to be 2-2"x10" spruce c/w 2-2"x6" spruce posts each end unless otherwise noted on plan All Timber Frame structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the province of Ontario prior to fabrication and exection of the timber frame.

1) All structural steel shall be fabricated and erected to the requirements of CSA Standard CAN3-SIG-L-M84

Welding shall conform to the requirements of CSA-W59, and shall be undertaken by a fabricator approved by the Canadian Welding Buruau to the requirements of W47 Canadian Welding Standard.

1) Cast in place concrete construction shall conform to the requirements of CSA Standard CAN3-A23=1-m84 2) All concrete shall have a minimum compressive strength of 25 Mpa at 28 days unless otherwise noted on plan

All plain and reinforced masonary shall conform to CAN3-A165 Series-M85 for concrete masonary units, and CAN/CSA-A82.1-M87 for burned day brick units

5) Concrete block wall shall be reinforced horizontally with Standard Blok-Lok @ 1'-4" o/c vertically as pe

6) Reinforced masonary shall be grouted with 20Mpa concrete, 3/6" aggregate (pea gravel) and 8" slump

DETAIL NUMBER
DRAWING NUMBER

1	Issued for Client Approval	27 / 11 / 2018
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the sel out in the Ontario Building Code to be a designer

OUALIFICATION INFORMATION

Scott Rushlow 29726 BCIN SIGNATURE

REGISTRATION INFORMATION

Scott Rushlaw Associates Ltd FIRM 35924 BCIN

SCOTT RUSHLOW

associates Ltd 111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

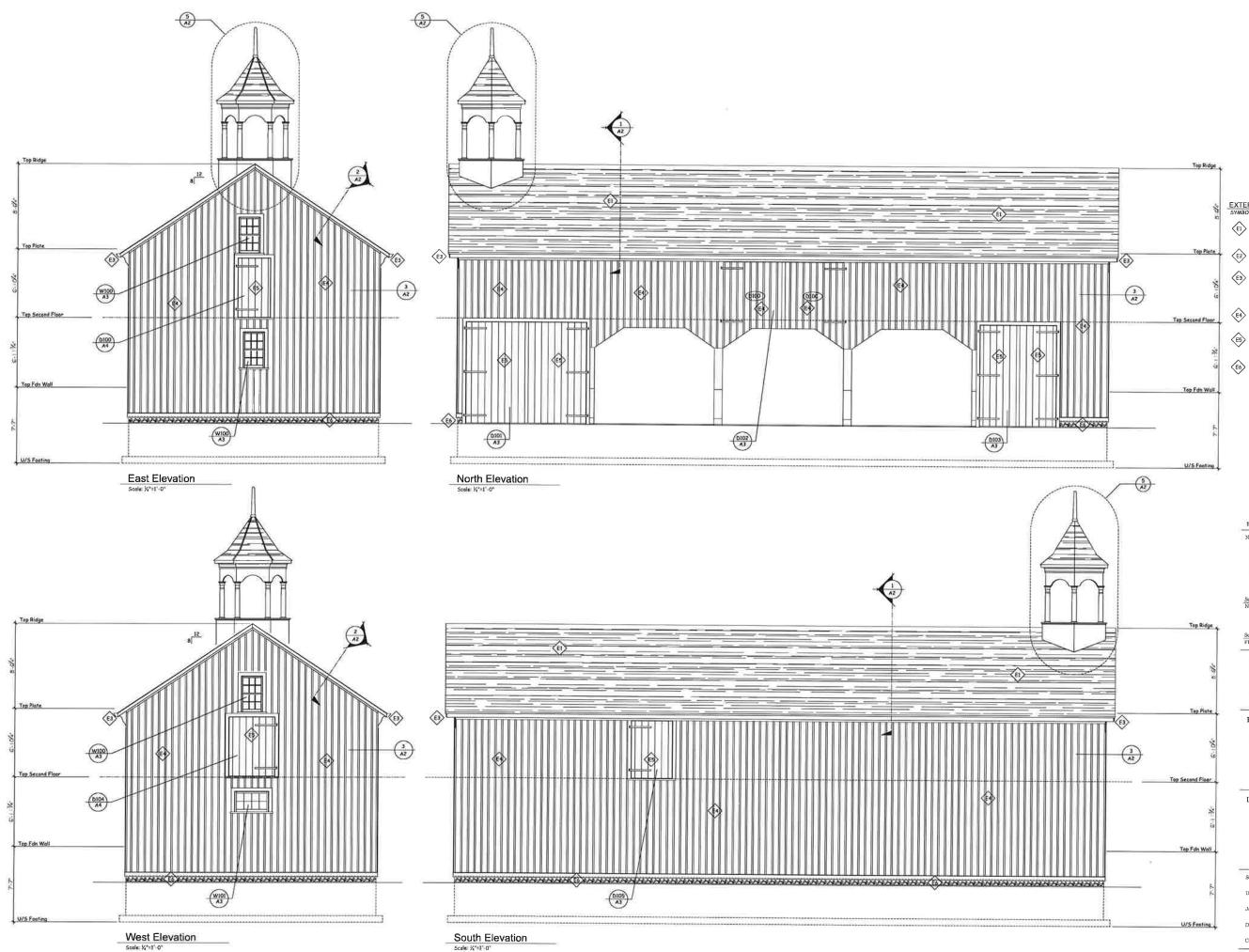
#### PROJECT

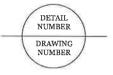
Jane McCague Driveshed C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Drawing Schedule Construction Notes** Plot Plan

Scale:	As Noted	DRAWING NO.
Dale:	Nov: 27, 2018	
Job No		Notes
Drawn By:	S.R.	110105
Checked By:		





## EXTERIOR FINISH SCHEDULE

- New #300 Asphalt Shingles By IKO Conbridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd
- New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
- Exterior Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish, Primer Benjamin Moore "Fresh Start" Finish Benjamin Moore "Aura Collection" Colour by owner, Approved by Heritage Richn
- New vertical Board and Botten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill,
- New vertical Board wood siding to Match Existing Latex Stain fin. Colour by Owner, Approved by Her Richmond Hill.
- New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern

1	Issued for Client Approval	27 / 11 / 2018
No.	Description	Date
this de	dersigned has reviewed and takes r sign, and has the qualifications and ments set out in the Ontario Buildir	meels the

#### QUALIFICATION INFORMATION

Scott Rushlow NAME SIGNATURE 29726 BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924 BCIN

SCOTT RUSHLOW

associates Ltd 111-111 Upper Duke Cres Markham ON L6G oC8 905 852 5595

PROJECT

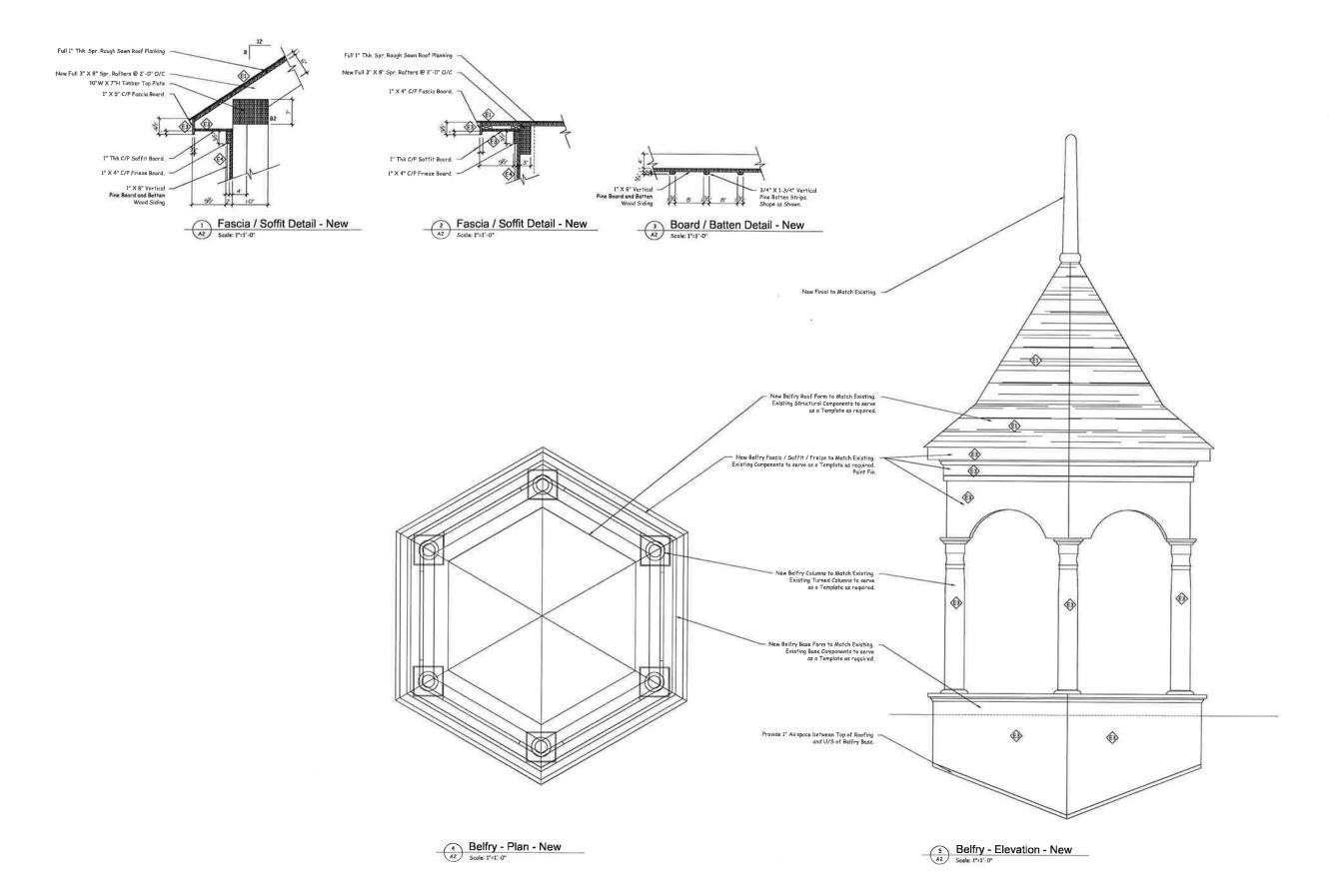
# Jane McCague Driveshed

C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior Elevations**

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Checked By:		





New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
Exterior Paint Finish, Point 3 coot work 1 Primer, 2 Finish, Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Appraved by Heritage Richmond Hill,
New vertical Baard and Batten wood siding to Match Existing Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
New vertical Board wood siding to Match Existing Latex Stain fin, Colour by Owner, Approved by Heritage Richmond Hill

New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, nat fully dressed, coursed rubble pattern.



PROJECT

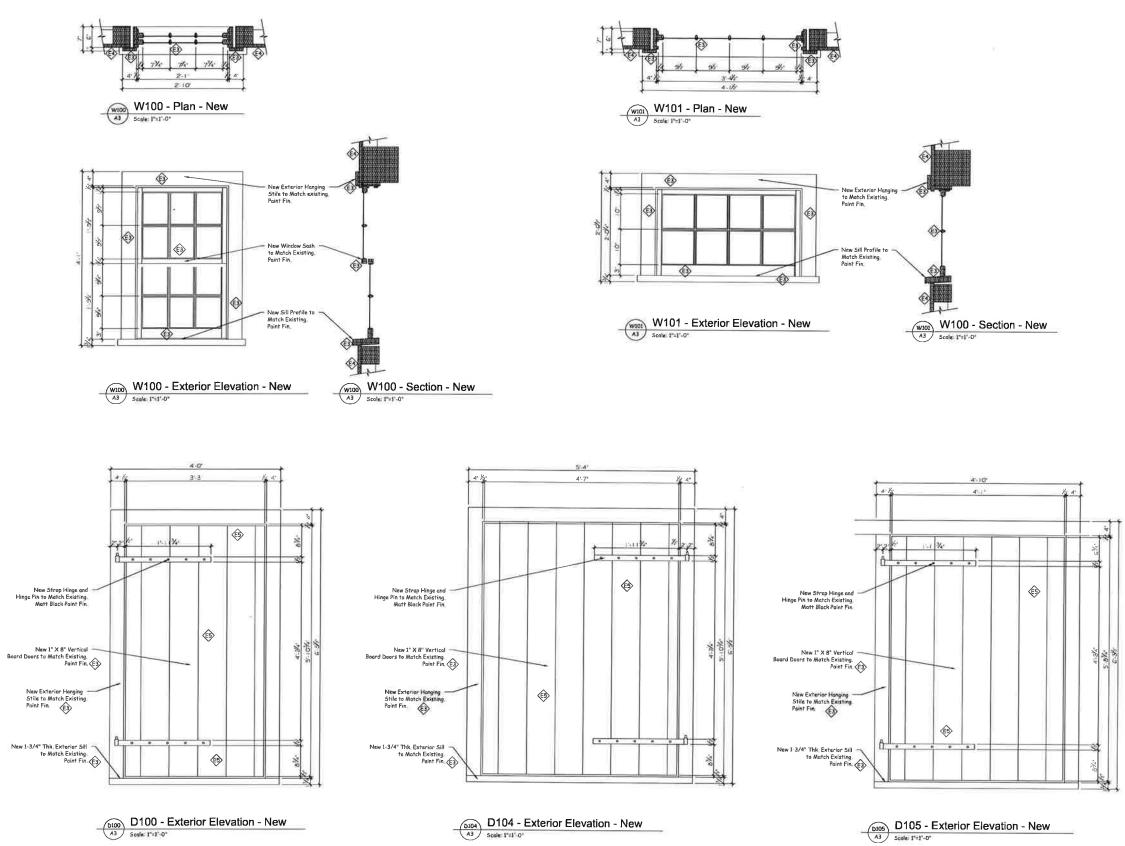
#### Jane McCague Driveshed

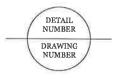
C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior Details**

Scale:	Y4"=1"-0"	DRAWING NO.
Date:	Nov. 27, 2018	
Job No.		٨o
Drawn By:	S.R.	A2
Cheeked By:		





#### EXTERIOR FINISH SCHEDULE

E1	New #30D Asphalt Shingles By IKO Gambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2>	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
<b>€</b> 3∕	Exterior Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish, Primer - Benjamin Moore - "Fresh Stort" Finish - Benjamin Moore - "Aura Callectian" Colour by owner, Approved by Heritage Richmond Hill,
<b>E</b> 4	New vertical Board and Batten wood siding to Match Existing Latex Stain fin, Colour by Owner, Approved by Heritage Richmond Hill
(E5)	New vertical Board wood siding to Match Existing Latex Stain fin Colour by Owner, Approved by Heritage Richmond Hill

New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern, (E6)



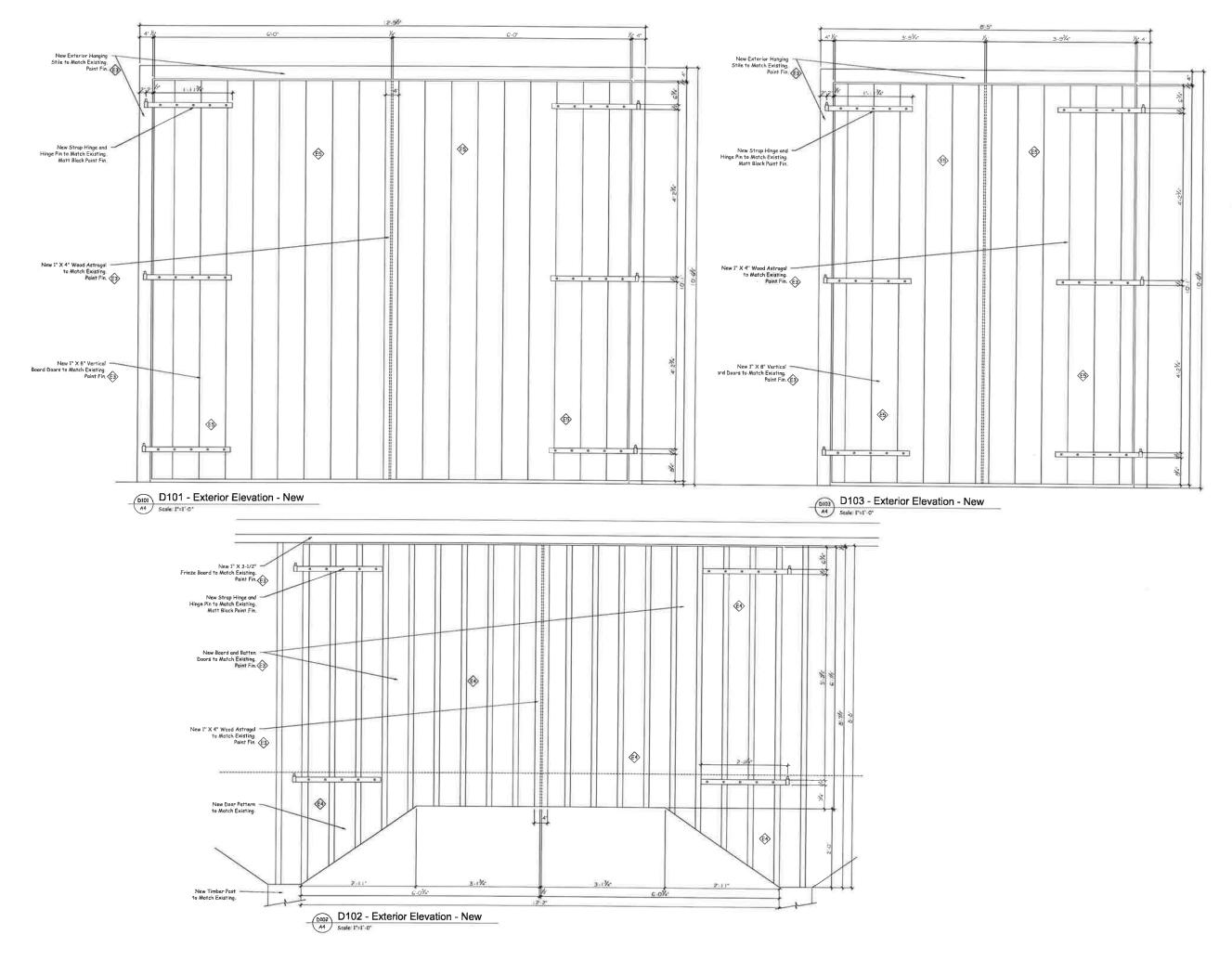
#### PROJECT

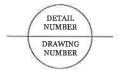
Jane McCague Driveshed C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior** Details

Scale:	¥4"=1'-0"	DRAWING NO.
Date:	Nov. 27, 2018	
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Checked By:		





## EXTERIOR FINISH SCHEDULE

- El New #300 Asphalt Shingles By IKO Combridge Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd
- E2 New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
- Esteriar Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish Primer - Bergiamin Moore - "Fresh Start" Finish - Bengiamin Moore - "Jura Collection" Colour by awner, Approved by Heritage Richmond Hill,
- New vertical Board and Batten wood siding to Match Existing Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
- E5 New vertical Board wood siding to Match Existing Latex Stain fin Colour by Owner, Approved by Heritage Richmond Hill.
- Key 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.

1	Issued for Client Approval	27 / 11 / 2018
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(	QUALIFICATION INFORM	IATION
Scott Rus	hlow	29720
NAME	SIGNATURE	BCIN
1	REGISTRATION INFORM	ATION
Scott Rus	hlow Associates Ltd	35924

PROJECT

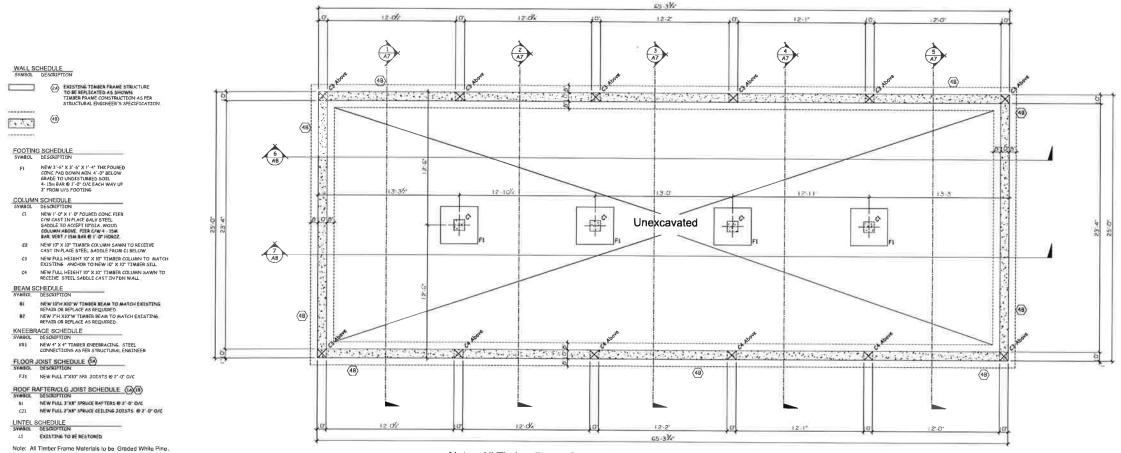
## Jane McCague Driveshed

C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Exterior Details**

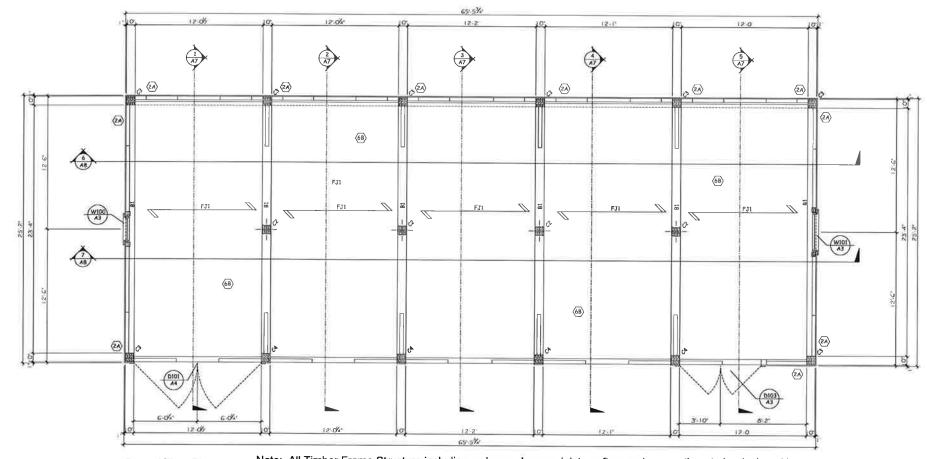
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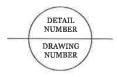
Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



Ground Floor Plan Scole 1/1 1 0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.





No.	Description	Dat
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QUA	LIFICATION INFORM	ATION
Scott Rushlow		29726
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asso	TT RUSHI o c i a t e s tuke Cres Markham ON LéG oCE	Ltd
PROJECT		
Jane I	McCague Driv	veshed
C/O I	eslie Flgin Developmen	nte Ino

Issued for Client Approval 27 / 11 / 2018

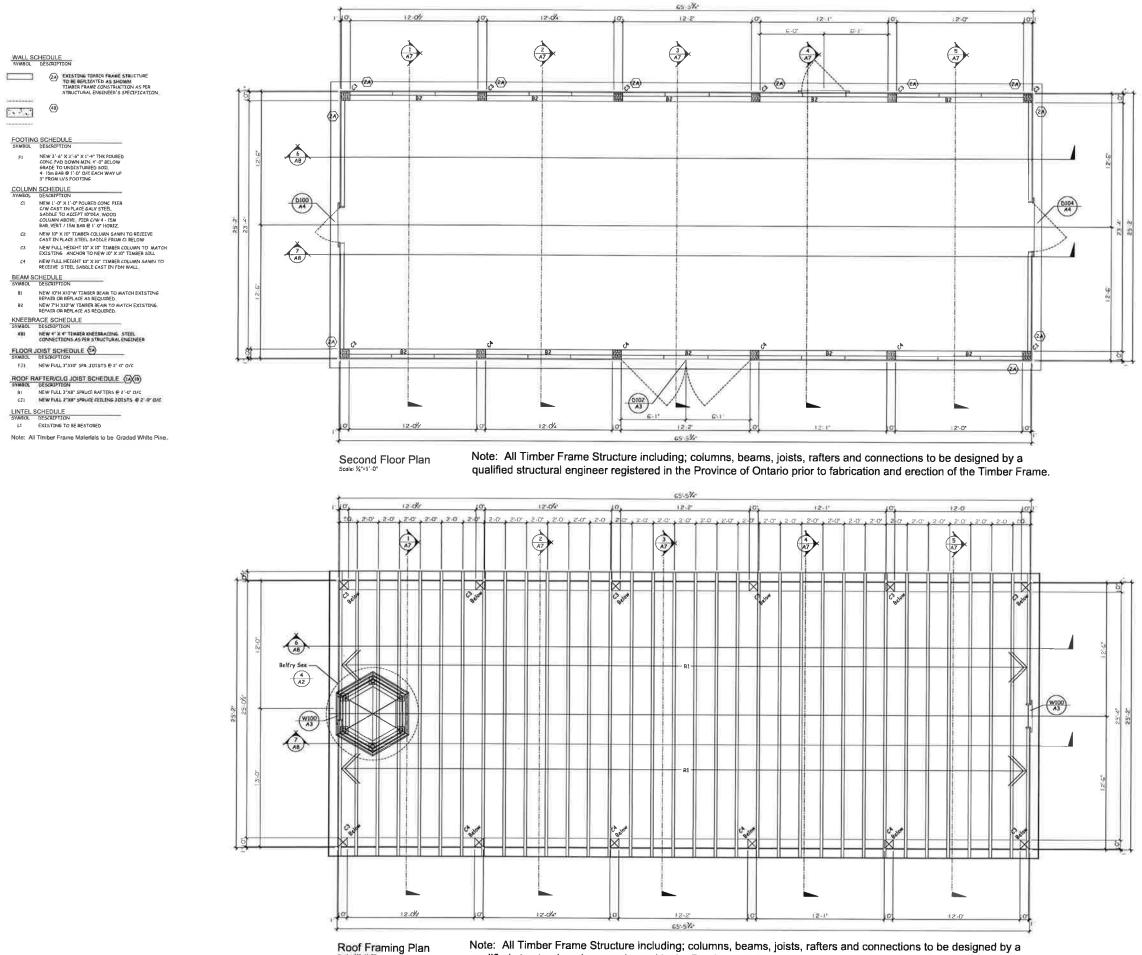
C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

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#### **Foundation Plan** Ground Floor Plan

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Date:	Nov. 27, 2018	
Job No		
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Checked By:		





qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



DETAIL NUMBER

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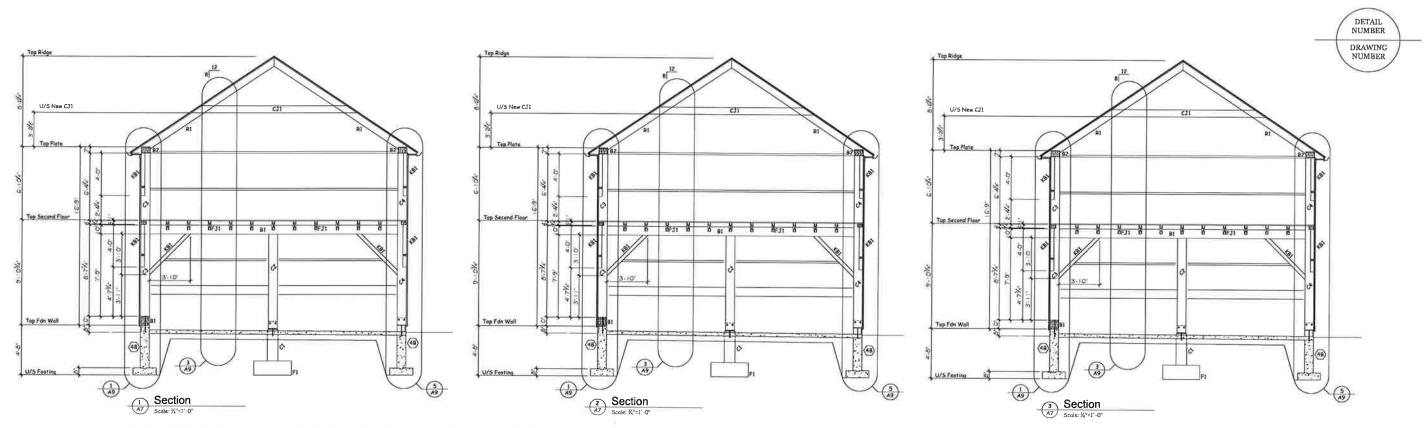
NUMBER

11121 Leslie Street Richmond Hill, Ontario

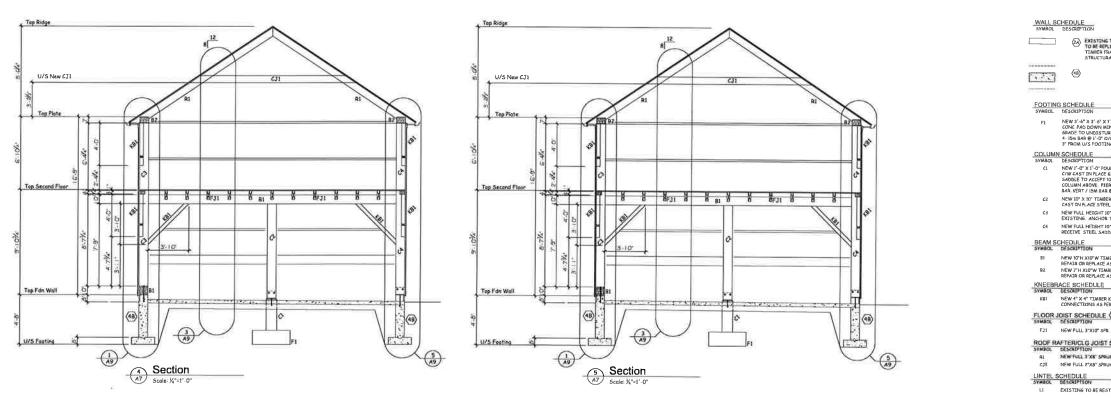
DRAWING TITLE

#### Second Floor Plan **Roof Framing Plan**

Scale:	Y4=1=0"	DRAWING NO.
Dale:	Nov: 27, 2018	
Job No.		16
Drawn By:	S.R.	AO
Checked By:		



Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.

Jane McCague Driveshed C/O Leslie Elgin Developments Inc. 11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Building Sections**

Scale:	¥"=1'-0"	DRAWING NO.
Date:	Nov. 27, 2018	
Job Nor		$\Lambda \neg$
Drawn By:	SiR.	A/
Checked By:		

A EXISTING TIMBER FRAME STRUCTURE TO BE REPLICATED AS SHOWN. TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION

FI NEW 3'-6' X 3'-6' X 1'-4' THK POURED CONC PAD DOWN MITH 4'-0' BELOW 6AADE TO UNDISTURBED SOLL 4: 155 BAR @1-0' O/C EACH WAY UP 3'' FROM U/S FOOTING

**(4B)** 

 BI
 NEW 10"H XI0"W TIMBER BEAM TO MATCH EXISTING REFAIR OR REPLACE AS REQUIRED

 B2
 NEW 7"H XI0"W TIMBER BEAM TO MATCH EXISTING REPAIR OR REPLACE AS REQUIRED

KB1 NEW 4" X 4" TIMBER KNEEBRACING. STEEL CONNECTIONS AS PER STRUCTURAL ENGINEE FLOOR JOIST SCHEDULE

FJ1 NEW FULL 3"XIO" SPR JOISTS @ 2'-0" O/C

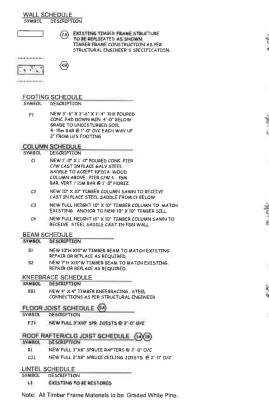
ROOF RAFTER/CLG JOIST SCHEDULE

RI NEW FULL I'XE' SPRUCE BAITERS & 2' O' O/C CJI NEW FULL 2'X8' SPRUCE CELLING JOISTS & 2'-O' O/C

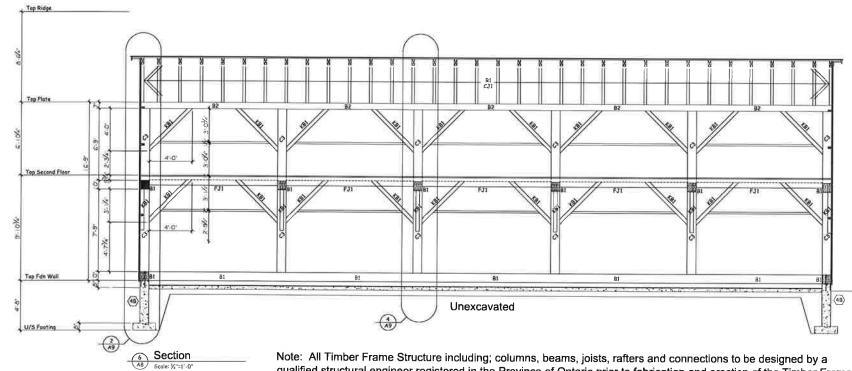
EXISTING TO BE RESTORED

LI

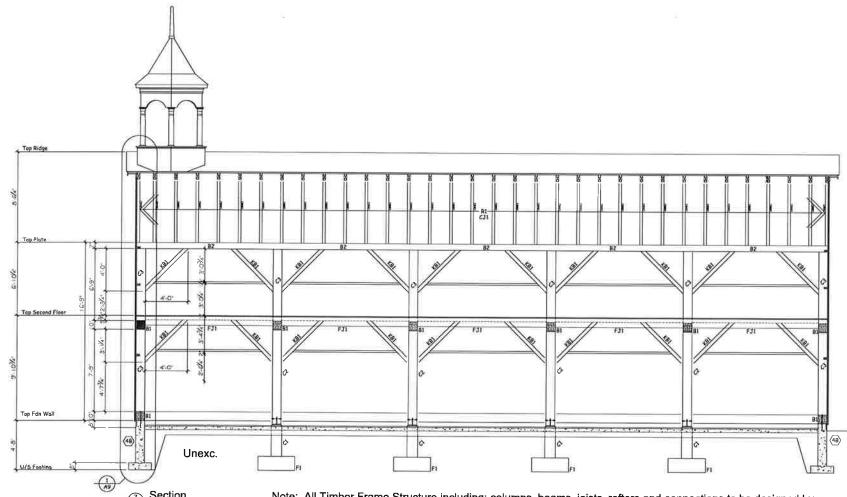
Note: All Timber Frame Materials to be Graded White Pine



1.0

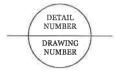


qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



AB Scale: 1/4"=1'-0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



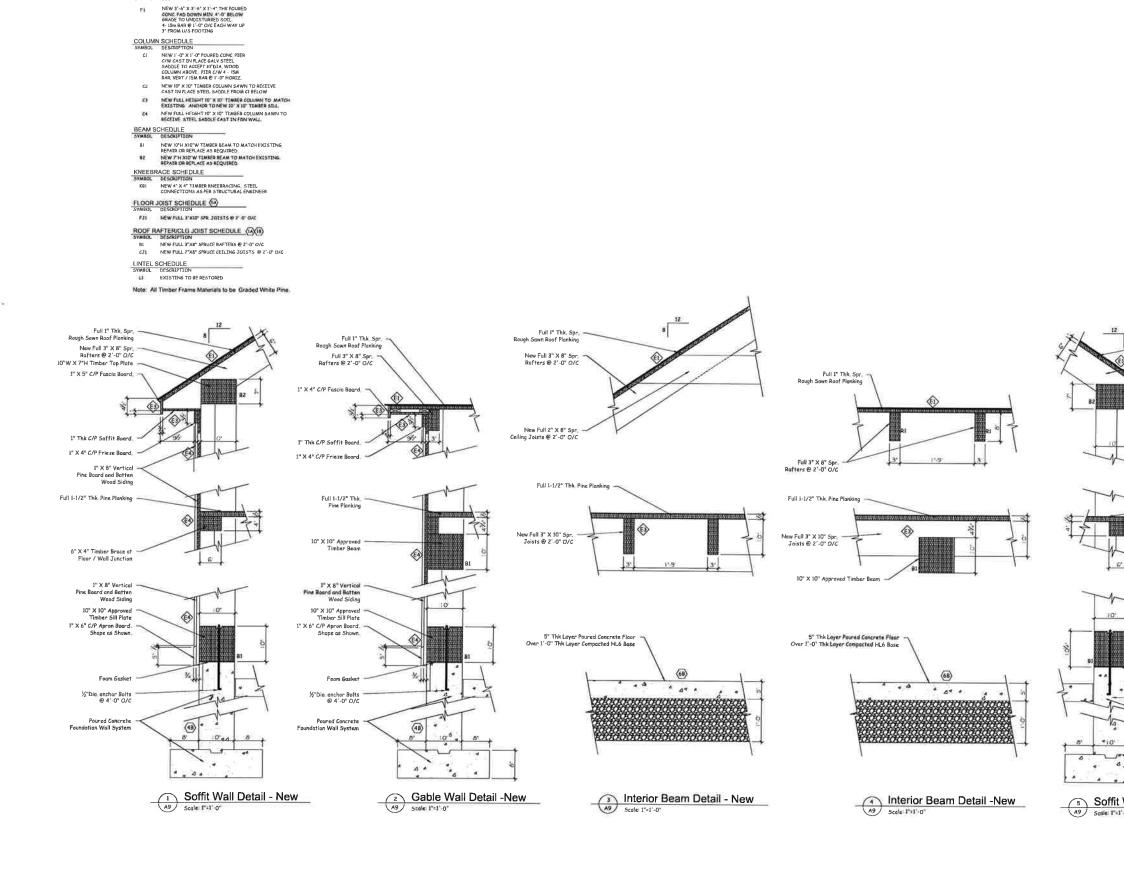
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Scott Rushlow 29726 REGISTRATION INFORMATION Scott Rushlow Associates Ltd 35924	1	Issued for Client Approval	27 / 11 / 2018
this design, and has the qualifications and meets the requirements set out in the Onlario Building Code to be a designer QUALIFICATION INFORMATION Scott Rushlow 29726 REGISTRATION INFORMATION Scott Rushlow Associates Ltd 355922 FIRM BCIN SCOUTT RUSHLOW A S S O C I A T C S Ltd J11-111 Upper Dake Cres Maridum ON LGG OCB 903 692 6925 6959 PROJECT Jane McCague Driveshed	No,	Description	Date
Sout Rushlow 29726 NAME SIGNATURE BCIN REGISTRATION INFORMATION Scoll Rushlow Associates Ltd 35924 FIRM BCIN SCOTTT RUSHLOW a s s o c i a t e s Ltd 111-113 Upper Duke Cres Murkham ON L6G 0CB 903 892 5995 PROJECT Jane McCague Driveshed	this des require	ign, and has the qualifications and 1 ments set out in the Ontario Buildin	meets the
NAME SIGNATURE BEEN REGISTRATION INFORMATION Scott Rushlow Associates Ltd 35924 FIRM BEEN SCOTTT RUSHLOW a s s o c i a t e s Ltd 111-113 Upper Duke Cress Markham ON L6G OCB 905 852 5595 PROJECT Jane McCague Driveshed		QUALIFICATION INFORM	IATION
REGISTRATION INFORMATION REGISTRATION INFORMATION Scolt Rushlow Associator Ltd 35924 BCIN SCOTT RUSHLOW associates Ltd JII-111 Upper Duke Cres Marklam ON LGG OCE 903 892 5995 PROJECT Jane McCague Driveshed	Scott Rus	hlow	29726
Scott Rushlow Associates Lid 35924 FIRM BCIN SCOTTT RUSHLOW associates Ltd 11-11 Upper Duke Cres Mardiam ON L6G OCB 905 852 5595 PROJECT Jane McCague Driveshed	NAME	SIGNATURE	BCIN
SCOTT RUSHLOW associates Ltd III-III Upper Dake Cres Markham ON LGG DCG 905 852 5595 PROJECT Jane McCague Driveshed			ATION 35924
associates Ltd II-II Upper Duke Cres Markdam DN L&G OCE 903 832 5595 PROJECT Jane McCague Driveshed	FIRM		
Jane McCague Driveshed	a s	sociates	Ltd
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C/O Leslie Elgin Develonments Inc	Jar		
		ne McCague Dri	veshed

11121 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

#### **Building Sections**

Scale:	Y"=1'-0"	DRAWING NO.
Date:	Nov. 27, 2018	
Job No		ΛQ
Drawn By:	S.R.	AO
Checked By:		



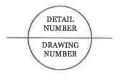
WALL SCHEDULE

FOOTING SCHEDULE SYMBOL DESCRIPTION

**(1B)** 

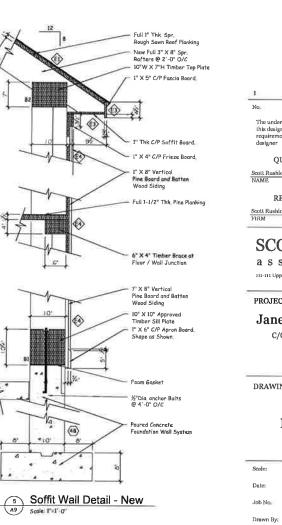
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2A EXISTING TIMBER PRAME STRUCTURE TO BE REFLICATED AS SHOWN TIMBER FRAME CONSTRUCTION AS PER



## EXTERIOR FINISH SCHEDULE

- New #300 Asphalt Shingles By IKO Combridge Series c/w all Pre-fin Flashings, Trinis and Fittings as Req'd
   New Pre-fin alum Eaves trough C/W all Pre-fin Trinis and Fittings as Req'd
   Exterior Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish, Primer, 2 Finish, Paint 3 coat work,
- Exterior Paint Finish, Paint 3 coat work, Primer, 2 Finish, Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Callection" Colour by owner, Approved by Heritage Richmond Hill,
- EA New vertical Board and Batten wood siding to Match Existing, Latex Stain fin, Calour by Owner, Approved by Heritage Richmond Hill
- ED New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
- Key 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.



1	Issued for Client Approval	27 / 11 / 2018
No.	Description	Date
this des	lersigned has reviewed and takes re ign, and has the qualifications and r nents set out in the Ontario Buildin r	neets the
(	UALIFICATION INFORM	IATION
Scolt Rus	hlow	29726
NAME	SIGNATURE	BCIN
	REGISTRATION INFORM	35924 BCIN
	OTT RUSH	
	sociates	Ltd
	pper Duke Cres Markham ON L6G oC	8 905 852 5595
PROJI	ICT	
Jan	e McCague Dri	veshed

#### C/O Leslie Elgin Developments Inc. 11121 Leslie Street

Richmond Hill, Ontario

DRAWING TITLE

#### **Building Details**

Scale:	1,-1,-0,	DRAWING NO.
Date:	Nov. 27, 2018	
Job No		10
Dnawn By:	S.R.	AY
Checked By:		