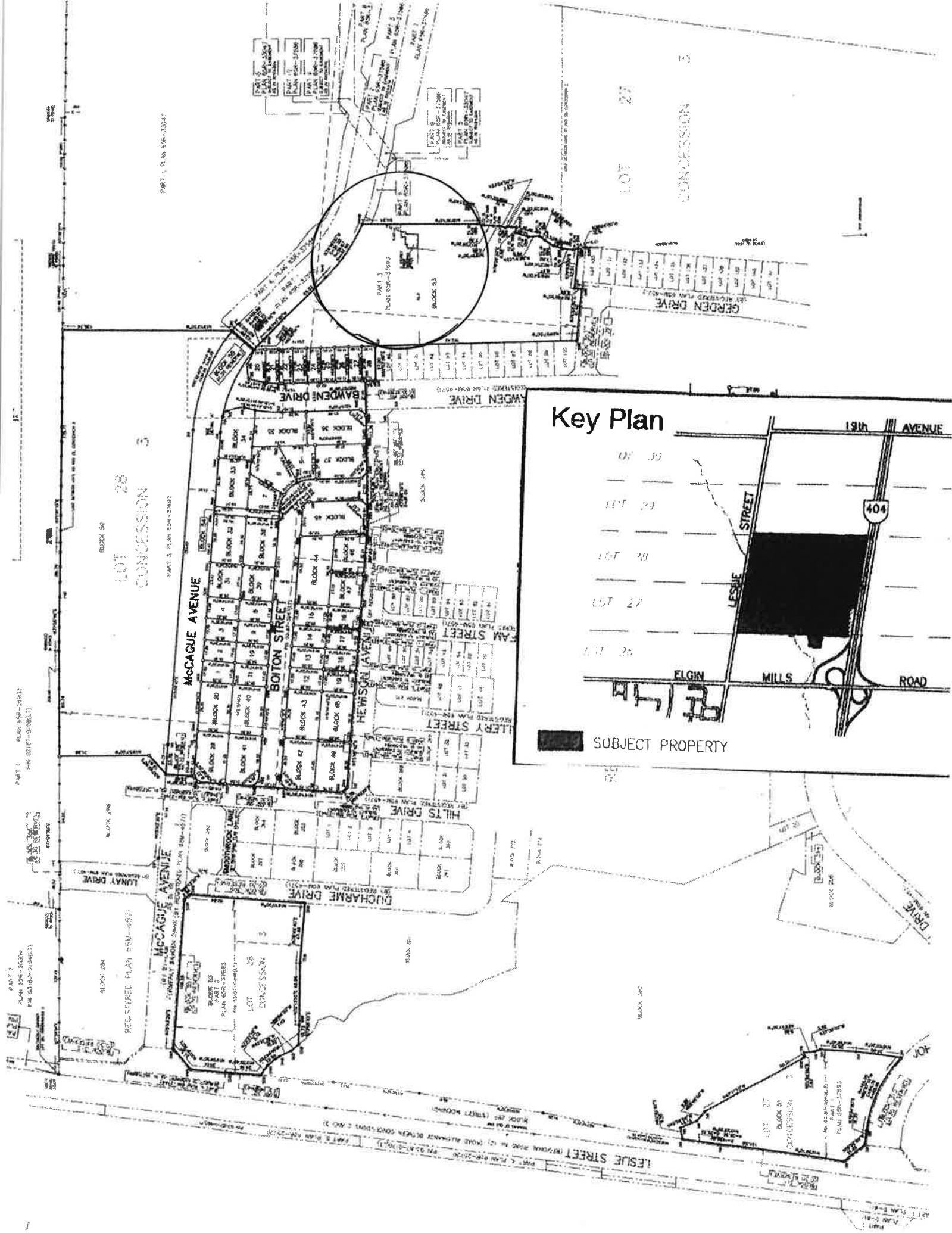


The "Jane McCague Farmhouse"
Conservation Plan

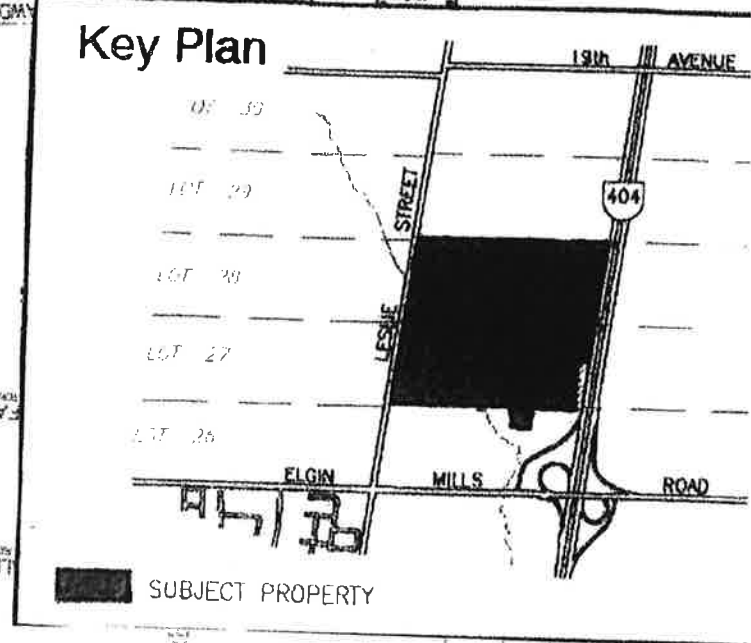
The "Jane McCague House Driveshed"
Replication Plan

CONTENTS

- 1) Key Plan
- 2) Comments by Wayne Morgan on the McCague Farmhouse and Drive Shed restoration plans.
- 3) Restoration cost estimates by Scott Rushlow for the McCague Farmhouse and Drive Shed
- 4) Engineering report by Cole Engineering on Drive Shed foundation
- 5) Cover sheets and construction notes for McCague Farmhouse
- 6) Drawings A1 to A17 for the McCague Farmhouse
- 7) Cover sheet and construction notes for Drive Shed
- 8) Drawings A1 to A9 for Drive Shed



Key Plan





WAYNE MORGAN
HERITAGE PLANNER

PO Box 1203, 21 Land's End
Sutton West, Ontario L0E 1R0

(905) 722-5398

wayne.morgan@sympatico.ca

COMMENTS

Project: Jane McCague House
11121 Leslie Street
Richmond Hill, Ontario
Conservation Plan
No. 12-8b & 18-03

Drawings Reviewed: Conservation Plan, dated December 16, 2019, consisting of:

Notes:	Drawing Schedule Construction Notes Plot Plan
A1 – A2:	Exterior Elevations
A3:	Fascia / Soffit Details Chimney Details
A4:	Veranda Details
A5:	Front Entrance Details
A6 – A8:	Window Details
A9:	Foundation Plan
A10:	Ground Floor Plan
A11:	Second Floor Plan
A12:	Roof Framing Plan
A13:	Building Sections
A14:	Building Sections Interior Base Details
A15 – A16:	Interior Door Details
A17:	Interior Stair Details

Date: December 16, 2019

Background: In my revised and updated Cultural Heritage Impact Assessment for this property dated December 2015, in respect of a Conservation Plan, I recommended:

A Conservation Plan is required for the ... Jane McCague House ... Such Conservation Plans, which would be subject to municipal approval, would provide details of how the buildings will be conserved and readapted and how any adverse impacts on or deterioration of any of the heritage attributes of the buildings will be

addressed. The Plan should include drawings and specifications and should address, among other matters:

- a. Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing... ; and*
- b. Interior conservation and rehabilitation work.*

City Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

Conservation/Replication Plan Context:

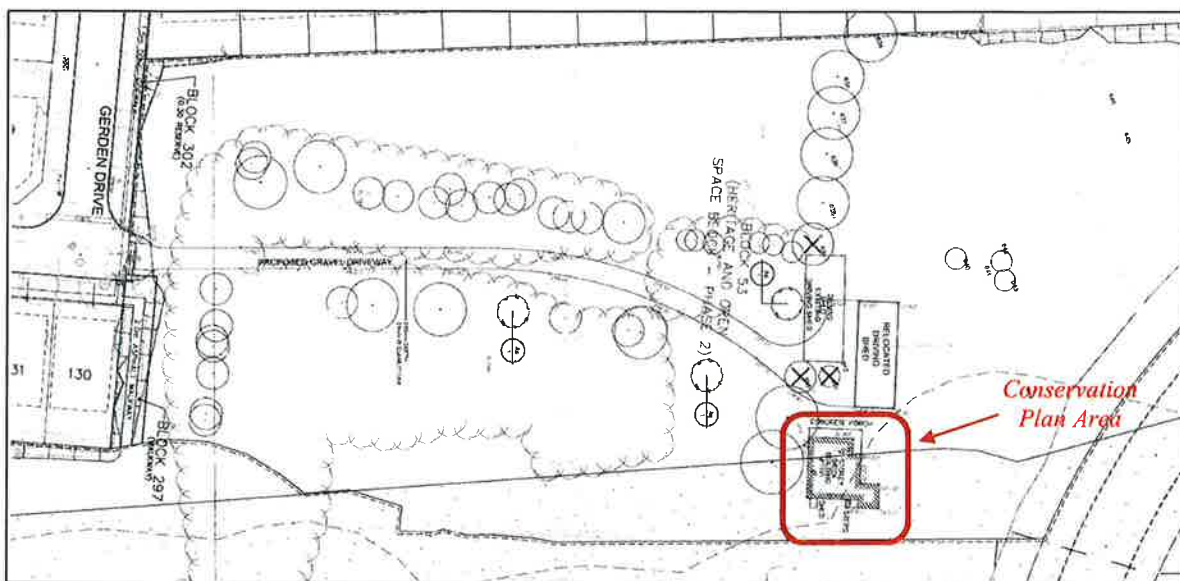


Figure 1 Conservation Plan Context *Source: Part of Heritage House Landscape Plan prepared by the mbtw group, dated May 30, 2019.*

Conservation

Plan Area: The Conservation Plan prepared by Scott Rushlow applies only to the building known as the Jane McCague House, as shown in Figure 1, which is proposed to be retained in situ.

Comments: When I last examined the House in 2015, it was in a reasonably good state and appeared structurally sound. It retains much of its original heritage fabric, although alterations had been made to the exterior including removal of the front (south) veranda, new east chimney and addition of a rear wing.

The Conservation Plan proposes to:

- remove the relatively recent rear wing, east chimney and existing front stoop;
- repair / rehabilitate various parts of the structure including existing window sash, selected masonry repairs and repainting of all exterior woodwork;
- replace the existing roof cladding with new asphalt shingles; and
- restore / reconstruct the front veranda and the east chimney.

The veranda and east chimney will be rebuilt using features which still exist on the House as templates. I note that the paint colours will be selected in consultation with the Richmond Hill Heritage Committee.

The Conservation Plan is consistent with my December 15, 2015 recommendation and the *Standards and Guidelines for the Conservation of Historic Places in Canada* prepared by Parks Canada.

Recommendations:

Having reviewed all drawings, I recommend that the Conservation Plan prepared by Scott Rushlow Associates Ltd including notes and drawings A1 to A17, dated December 16, 2019, be approved subject to:

1. The attachment of these comments to the Conservation Plan.



Wayne Morgan, RRP, MCIP, MCAHP



WAYNE MORGAN
HERITAGE PLANNER

PO Box 1203, 21 Land's End
Sutton West, Ontario L0E 1R0

(905) 722-5398

wayne.morgan@sympatico.ca

COMMENTS

Project: Jane McCague Driveshed
11121 Leslie Street
Richmond Hill, Ontario
Conservation/Replication Plan
No. 12-8b & 18-03

Drawings Reviewed: Conservation/Replication Plan, dated November 27, 2018, consisting of:

Notes:	Drawing Schedule Construction Notes Plot Plan
A1:	Exterior Elevations
A2 – A4:	Exterior Details
A5:	Foundation Plan – Ground Floor Plan
A6:	Second Floor Plan – Roof Framing Plan
A7 – A8:	Building Sections
A9:	Building Details

Date: December 16, 2019

Background: In my revised and updated Cultural Heritage Impact Assessment for this property dated December 2015, in respect of a Conservation Plan, I recommended:

A Conservation Plan is required for the Driveshed ... Such Conservation Plans, which would be subject to municipal approval, would provide details of how the buildings will be conserved and readapted and how any adverse impacts on or deterioration of any of the heritage attributes of the buildings will be addressed. The Plan should include drawings and specifications and should address, among other matters:

- a. Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing... ; and*
- b. Interior conservation and rehabilitation work.*

City Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

Conservation/Replication

Plan Context:

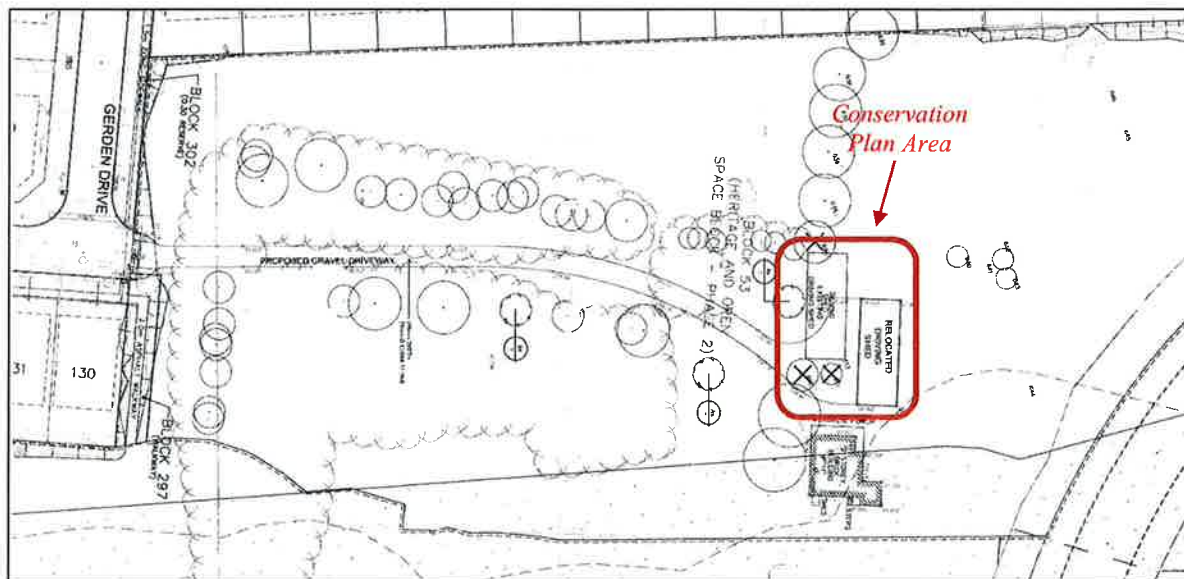


Figure 1 Conservation/Replication Plan Context Source: Part of Heritage House Landscape Plan prepared by the mbtw group, dated May 30, 2019.

Conservation

Plan Area: The Conservation/Replication Plan prepared by Scott Rushlow applies only to the building known as the Driveshed. It is proposed that the Driveshed be relocated approximately 1.2 metres to the north and 8 metres to the east, as shown in Figure 1, maintaining the same orientation of the structure so that the large openings continue to face north.

Comments: When the Driveshed was first examined in 212, it was in a deteriorating state. The foundation had collapsed and heaved in places, several heavy timber post bases had rotted, been cut out and replaced by concrete, many vertical boards cladding the exterior had rotted at the base, shed doors were missing and the roof leaked. Over the intervening seven and a half years, deterioration of the structure and its fabric has progressed. The proposal is to rebuild the structure, conserving its memory as a physical structure but replacing all materials with new materials that replicate the appearance of the original. While this approach is not consistent

with the *Standards and Guidelines for the Conservation of Historic Places in Canada* prepared by Parks Canada; given the advanced deterioration of the structure and much of the heritage fabric of which it is built, I am of the opinion that this is an appropriate approach that meets my recommendation for a Conservation Plan for the structure. Furthermore, in replicating the structure, there is sufficient physical material left to provide a template for the precise reconstruction of the structure as it was originally built.

Given that the structure, including its foundation, will have to be rebuilt, the proposed relocation of the structure as shown in Figure 1 is acceptable, subject to the recommendation reorientation specified below, as it will maintain the strong visual connection between the House and the Driveshed.

Originally vehicle access to the House and Driveshed was from the west. Such access is no longer possible. The proposal, as shown in Figure 1, is to access the structures from the south. Since the recommended conservation strategy is to reconstruct the Driveshed and it is desirable for the Driveshed to be functional and useable, the reconstructed Driveshed should be reoriented, in its new location, so that the openings face the driveway (south) rather than north. As a result, on Drawing A1, I recommend that the elevations be relabeled as follows and all subsequent drawings be modified as appropriate given the reorientation:

Table 1 RECOMMENDED REORIENTATION	
Drawing A1 - Existing	Drawing A1 - Recommended
North	South
South	North
East	West
West	East

Recommendations:

Having reviewed all drawings, I recommend that the Conservation / Replication Plan prepared by Scott Rushlow Associates Ltd including notes and drawings A1 to A9, dated November 27, 2018, be approved subject to:

1. The reorientation of the Driveshed in its new location specified in Table 1 for Drawing A1 with appropriate modifications to subsequent Drawings, and
2. The attachment of these comments to the Conservation Plan.



Wayne Morgan, OPPI, MCIP, MCAHP

SCOTT RUSHLOW

A s s o c i a t e s L t d

SCOPE OF RESTORATION WORK: *Farmhouse*

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Roofing, #300 Asphalt	\$2.50/ft2	2,765ft2	\$6,900.00
2) Fascia/Soffit Restoration	\$50.00/ft	336ft	\$16,800.00
3) Masonry Pointing	\$10.00/ft2	2,086/ft2	\$20,860.00
4) Window Rest./inc storms	\$1,000.00	19	\$19,000.00
5) Door Rest./inc storms	\$1,500.00	4	\$6,000.00
6) Verandah Reconstruction	\$50.00/ft2	474ft2	\$23,700.00
7) Shutters Replacement	\$275.00/ea.	32	\$8,800.00
8) Chimney Restoration	\$2,750.00	2	\$5,500.00
9) Eaves Trough	\$12.00/ft	244	\$2,928.00
10) Exterior Painting (Fascia/soffit, Siding, Windows, Doors, Veranda)			\$21,000.00
11) Interior Trim Restoration (Casing, Baseboard, doors, fire place, stairs)			\$17,500.00
12) Interior Finishing (millwork only)			<u>\$24,000.00</u>
Subtotal			\$172,988.00
15% Contingency			<u>\$ 25,948.20</u>
Subtotal			\$198,936.20
H.S.T. 13%			<u>\$ 25,861.71</u>
Total Estimate (Heritage Restoration only)			\$224,797.91

2/2

SCOTT RUSHLOW
A s s o c i a t e s L t d

SCOPE OF REPLICATION/RESTORATION WORK: *See site*

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Building Detail Templating			\$4,500.00
2) Roofing, #300 Asphalt	\$2.50/ft2	2,412ft2	\$6,030.00
3) Fascia/Soffit Replication	\$20.00/ft	204ft	\$4,080.00
4) New Masonry Foundation	\$50.00/ft	184ft2	\$9,200.00
5) Window Replication	\$2,000.00	4	\$8,000.00
6) Door Replication	\$1,500.00	6	\$7,000.00
7) Eaves Trough	\$20.00/ft	136	\$2,720.00
8) Belfry Replication			\$10,500.00
9) Timber Frame Replication	\$45.00ft2	1,650ft2	\$74,250.00
10) Exterior Painting/stain (Fascia/soffit, Siding, Windows, Doors)			\$7,500.00
11) Exterior Siding Removal/Refurbishment			\$5,720.00
Subtotal			\$139,500.00
10% Contingency			<u>\$ 13,950.00</u>
Subtotal			\$153,450.00
H.S.T. 13%			<u>\$ 19,948.50</u>
Total Estimate (Heritage Replication/Restoration)			\$173,398.50

2/2



May 29, 2018
Our Ref: L10-298

Leslie Elgin Developments Inc.
c/o TACC Developments
600 Applewood Crescent
Vaughan, ON, L4K 4B4

Attention: Ken Rovinelli

**Re: Heritage Barn Foundation
Leslie Elgin Developments – Phase 2
Block 53, Heritage Block
Town of Richmond Hill, File No. 19T-04009**

As requested by Leslie Elgin Developments Inc., Cole investigated the structural adequacy of the barn foundation located within Block 53 of the Leslie Elgin Development Phase 2 (Seen in Photograph #1). This investigation was purely visual in nature and no testing was performed. Based upon our visual observations at the site, the foundation appears to be in very poor condition, portions of the foundation are completely eroded away or missing (Seen in Photographs #2 and #3), and some portions of the walls are not sitting upon any foundation at all (Photographs #3 and #4).

It is in our opinion that the barn foundation in question is not suitable for use and should be demolished. Should the barn be rebuilt a new foundation should be constructed.

Yours sincerely,
COLE ENGINEERING GROUP LTD.

Philip Golubovich, E.I.T.
Structural Designer



Michael Samuels, P. Eng.
Structural Engineer

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COLE ENGINEERING GROUP LTD.

100054544

70 Valleywood Drive, Markham, ON Canada L3R 4T5

T. 905 940 6161 | 416 987 6161 F. 905 940 2064

www.coleengineering.ca





Photograph 1



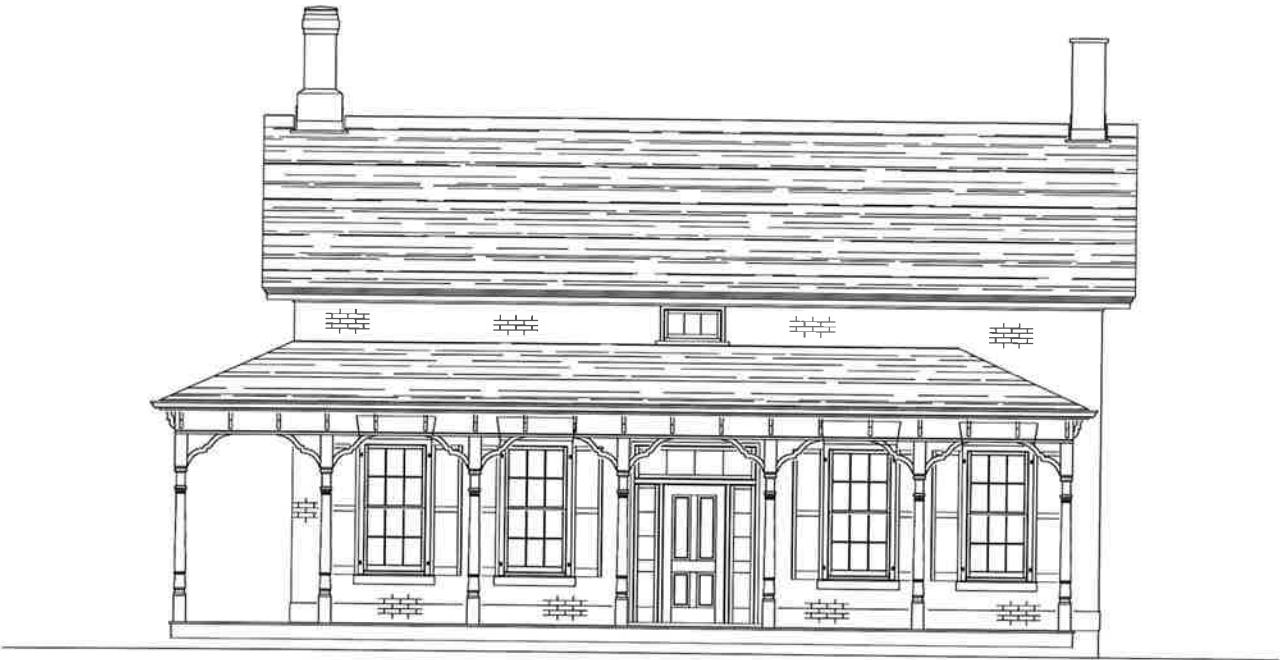
Photograph 2



Photograph 3



Photograph 4



The "Jane McCague Farmhouse" Conservation Plan

1 Issued for Client Approval 20 / 07 / 2017

No.	Description	Date
-----	-------------	------

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	20726
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
a s s o c i a t e s L t d

111-111 Upper Duke Cres. Markham ON L6G 0C8 905 892 5595

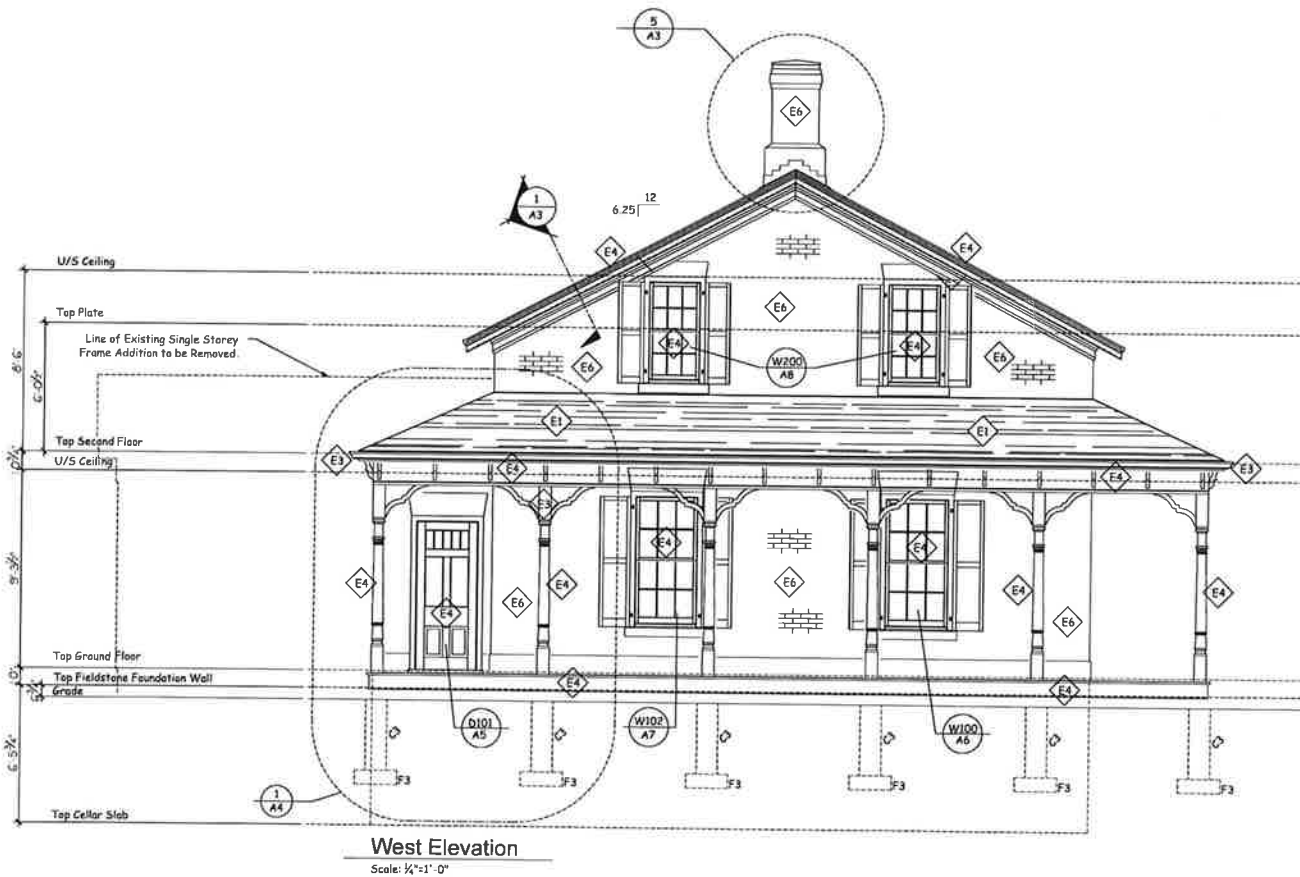
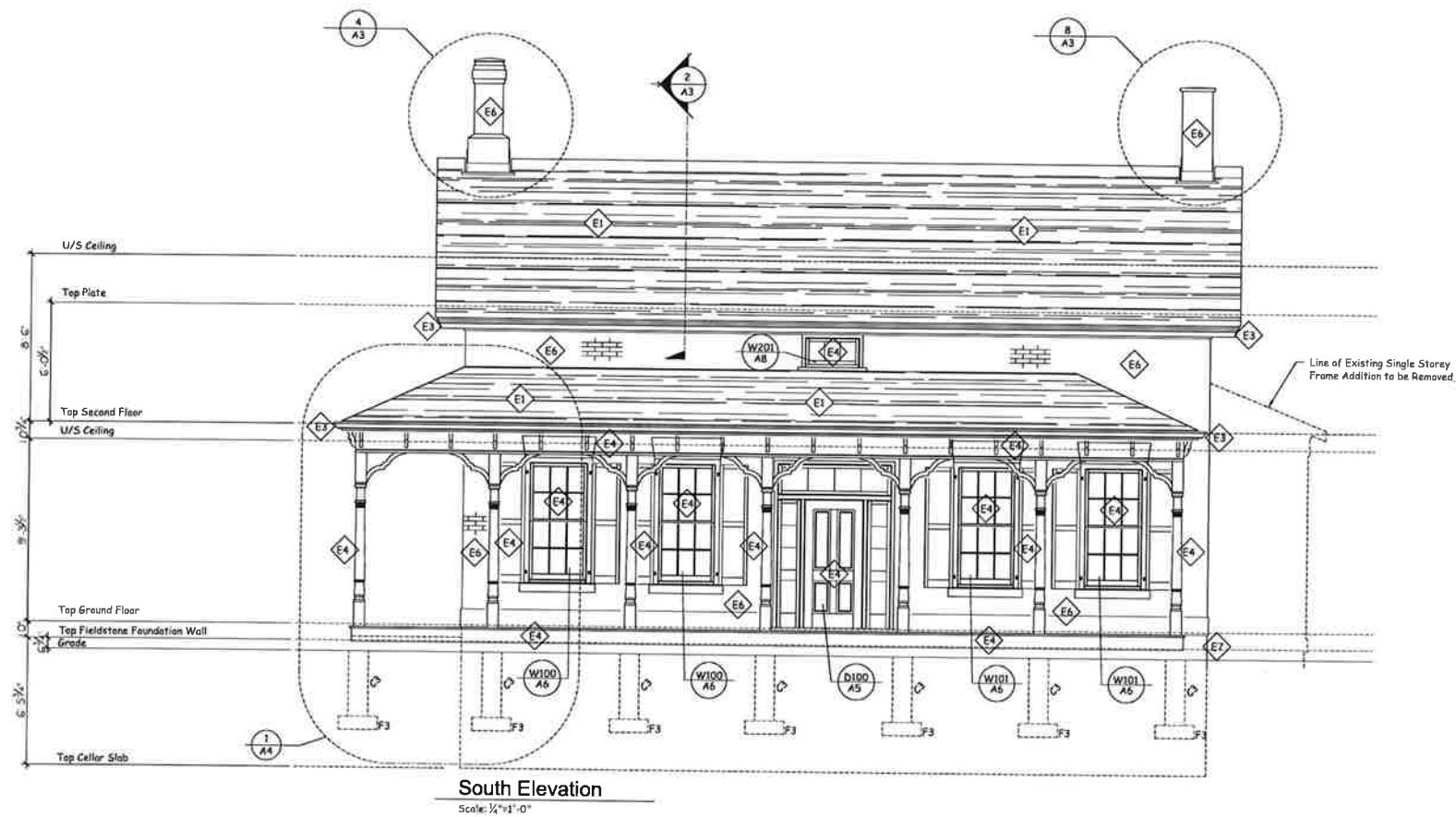
PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Cover Sheet

Scale: 1/4"=1'-0"	DRAWING NO.
Date: July 20, 2017	
Job No.	
Drawn By: S.R.	
Checked By:	



DETAIL
NUMBER
DRAWING
NUMBER

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series C/W all Pre-Fin Flashings, Trims and Fittings as Req'd
E2	New Pre-Fin alum Sheet Metal Roofing as per O.B.C. 9.26.13, Roofing C/W all Pre-Fin Flashings, Trims and Fittings as Req'd
E3	New Pre-Fin alum Eaves Trough C/W all Pre-Fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish, Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec", 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

1 Issued for Client Approval 20 / 07 / 2017

No. Description Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow 297226
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres. Markham ON L6G 0C8 905.892.5995

PROJECT

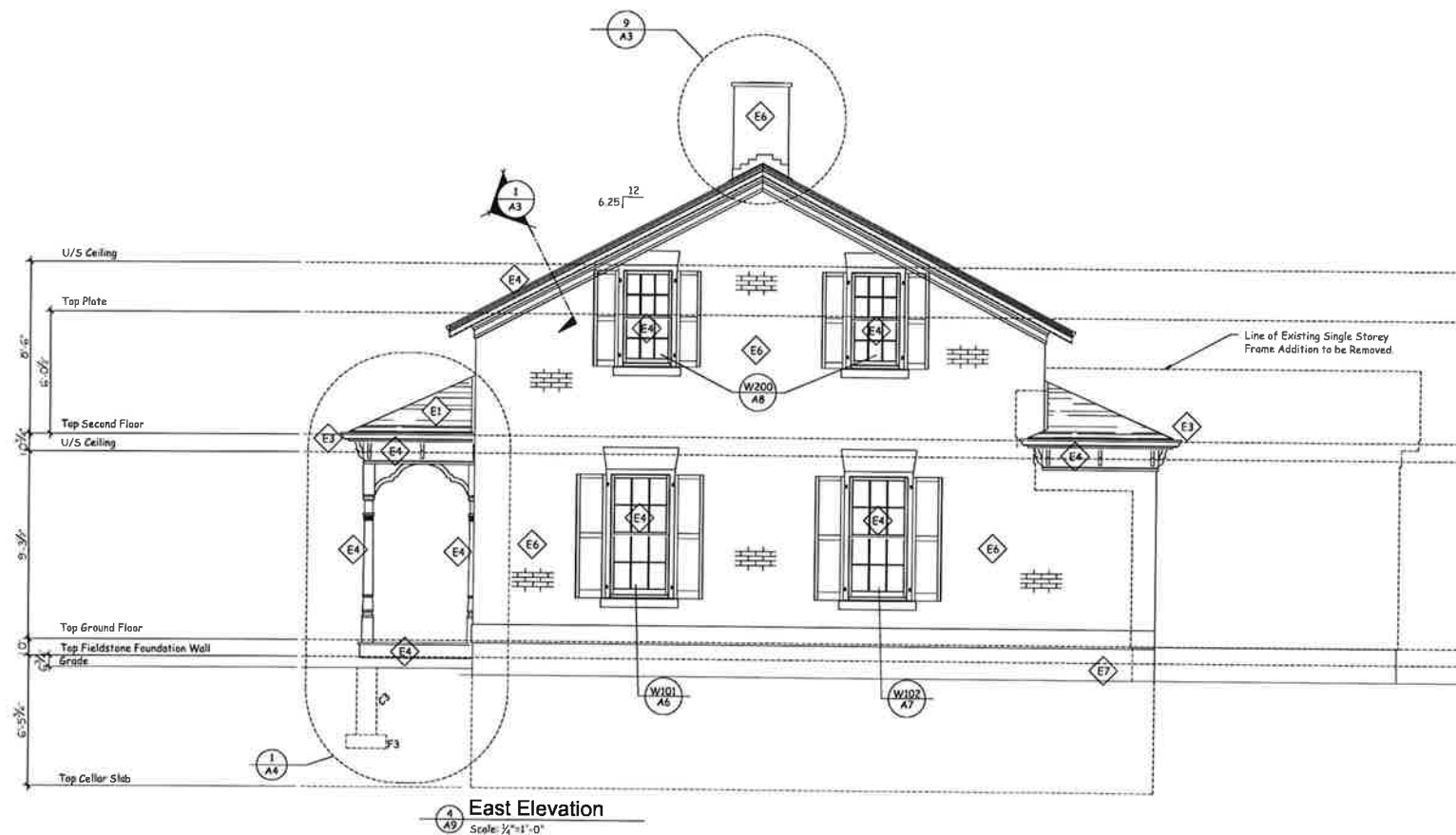
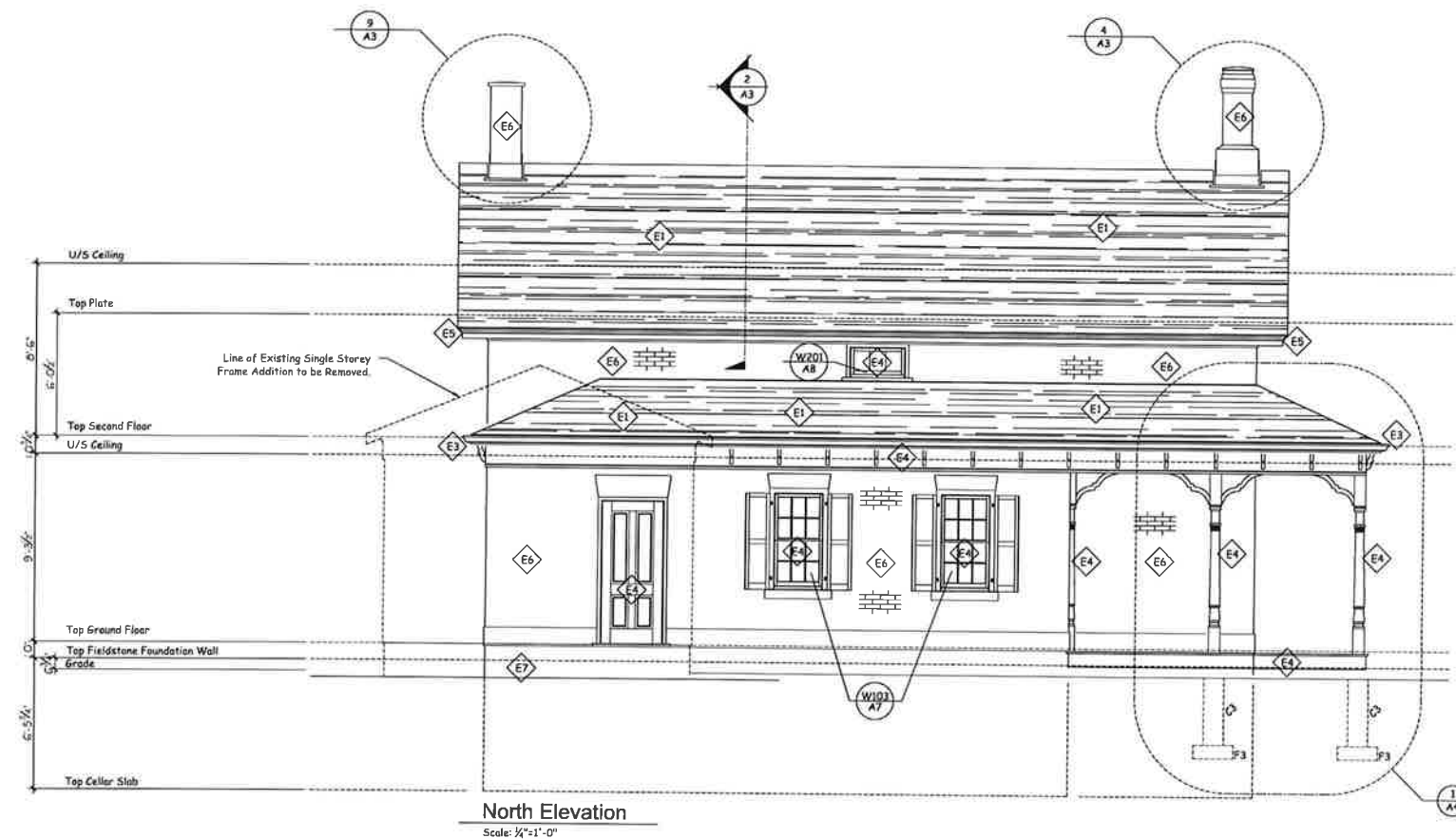
Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Exterior Elevations

Scale: 1/4"=1'-0"	DRAWING NO.
Date: July 20, 2017	
Job No.	
Drawn By: S.R.	
Checked By:	

A1



DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves Trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 coat work 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec". 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

1 Issued for Client Approval 20 / 07 / 2017

No. Description Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow 29726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Creek Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Exterior Elevations

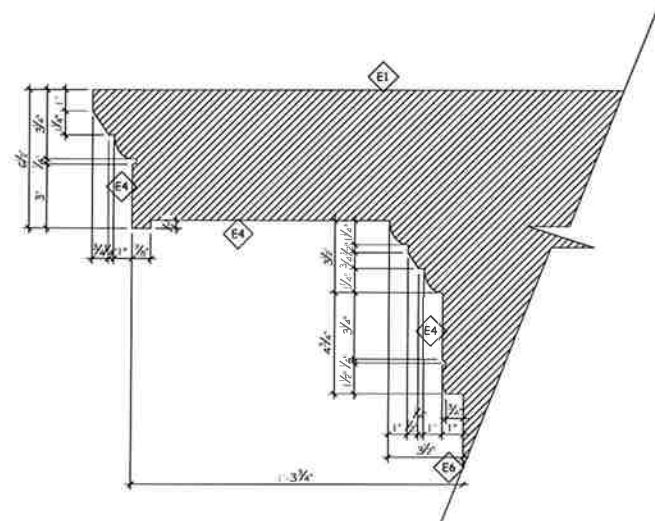
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Date: July 20, 2017
Job No.
Drawn By: S.R.
Checked By:

A2

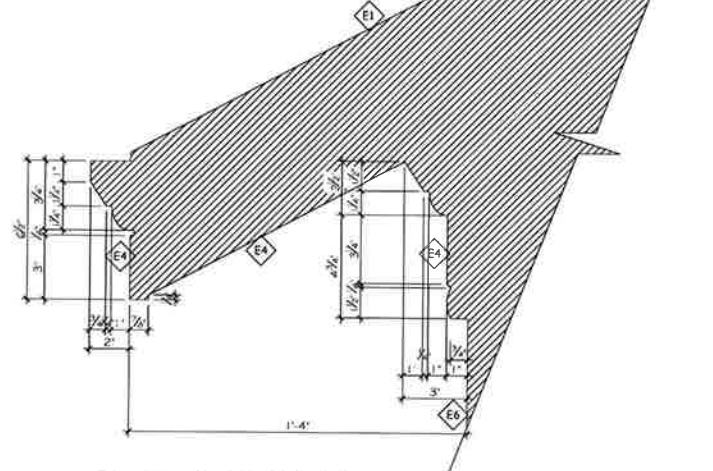
DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Caves Trough c/w all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scraps and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec". 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

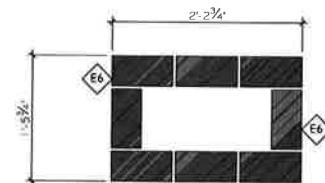


1 Fascia / Soffit Detail
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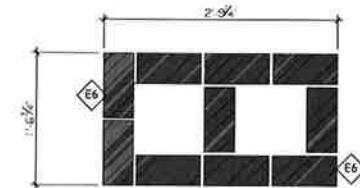


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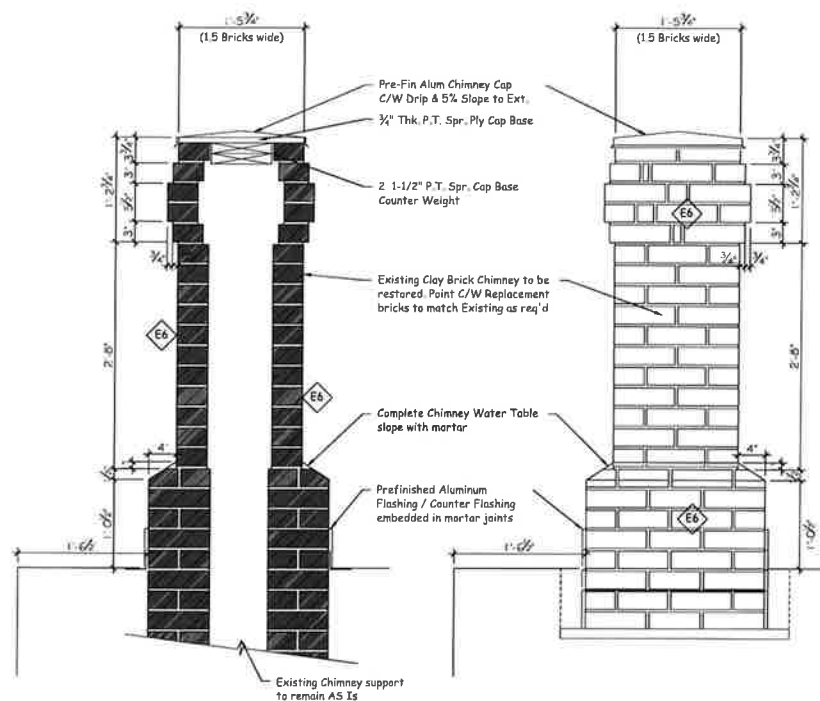
Note:
Project Heritage Brick size:
2-1/2"H X 9-1/8"L X 4-1/4"D



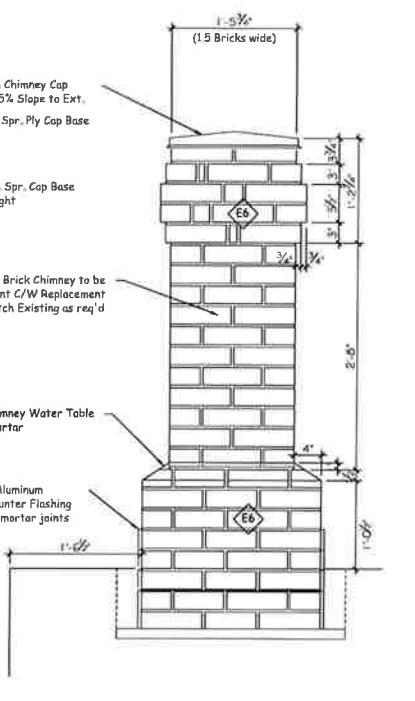
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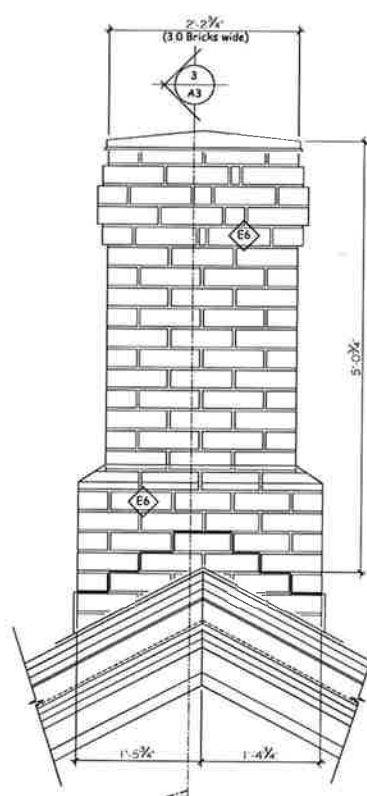
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Scale: 1/4"=1'-0"



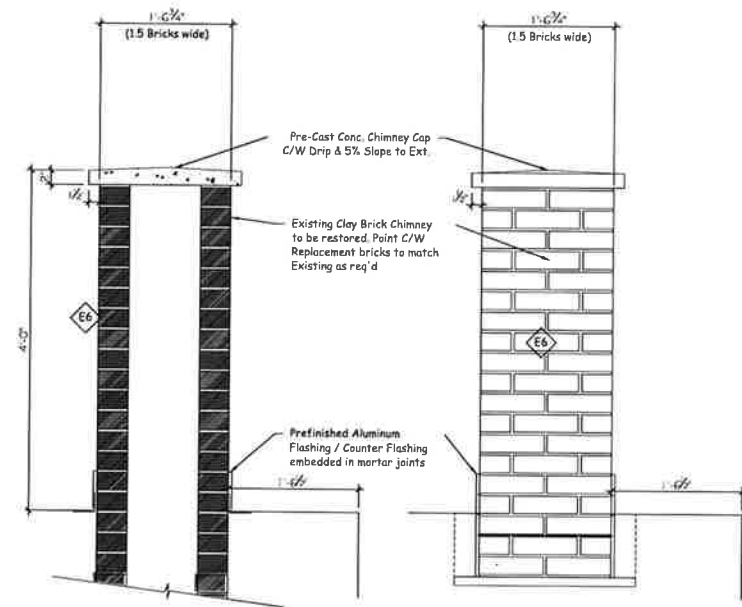
3 West Chimney Detail (Section)
Scale: 1/4"=1'-0"



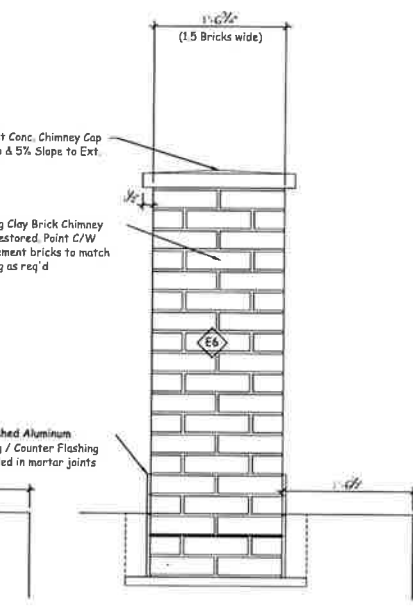
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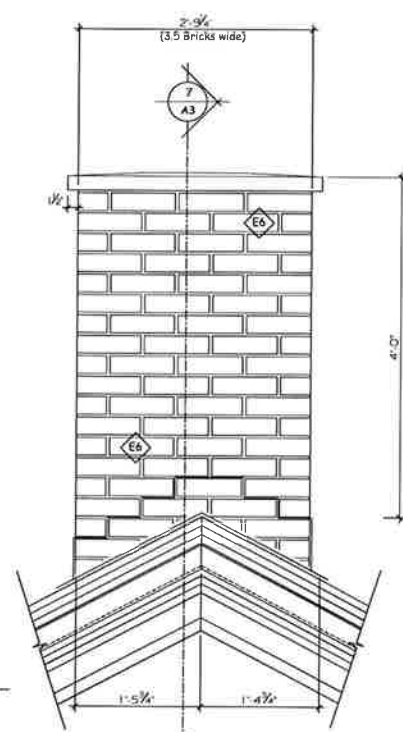
5 West Chimney Detail (West Elev)
Scale: 1/4"=1'-0"



7 East Chimney Detail (Section)
Scale: 1/4"=1'-0"



8 East Chimney Detail (South Elev)
Scale: 1/4"=1'-0"



9 East Chimney Detail (East Elev)
Scale: 1/4"=1'-0"

1 Issued for Client Approval 20 / 07 / 2017

No. Description Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow 29726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Creek Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Fascia / Soffit Details
Chimney Details

Scale: As Noted DRAWING NO.

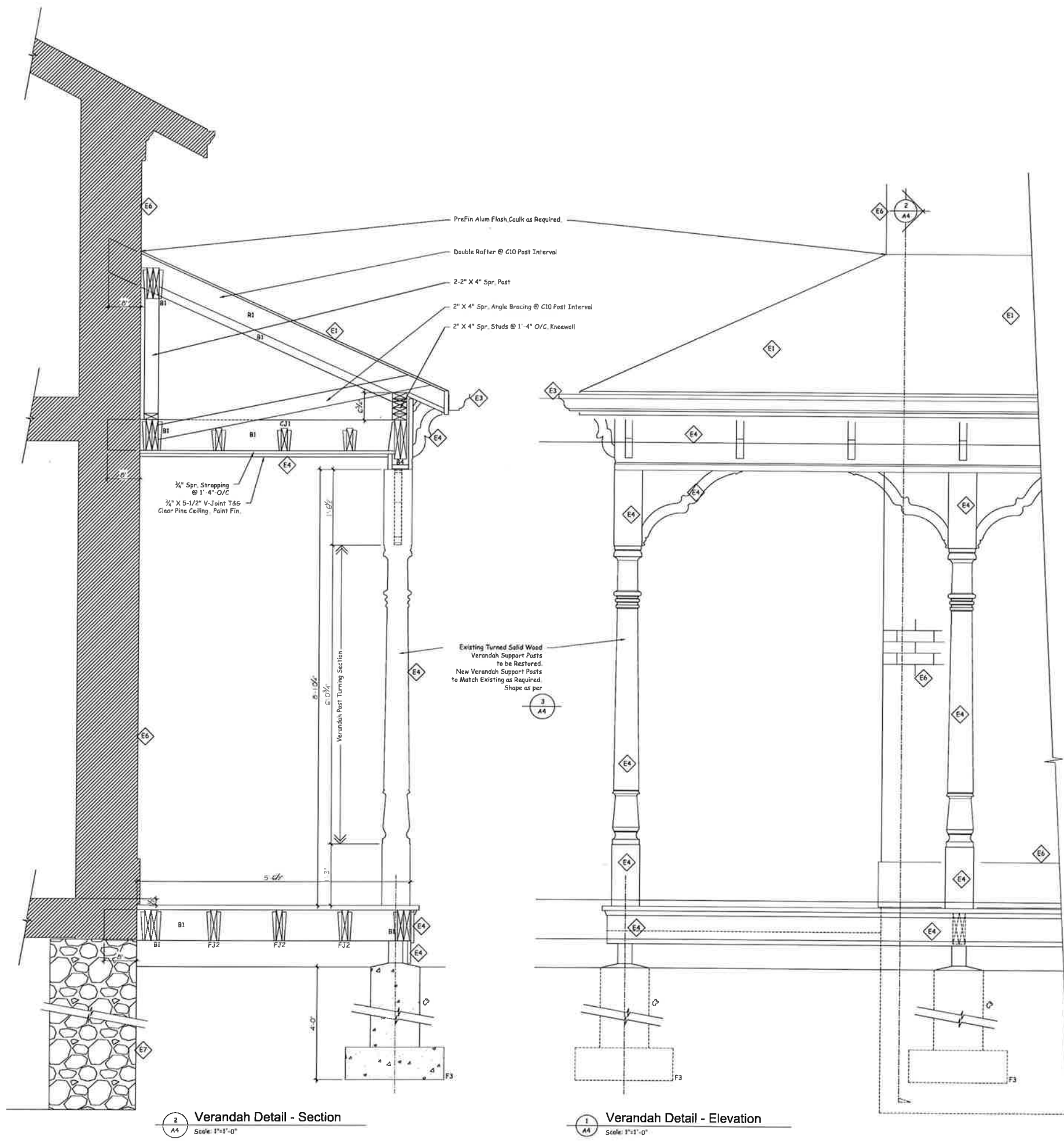
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Job No.

Drawn By: S.R.

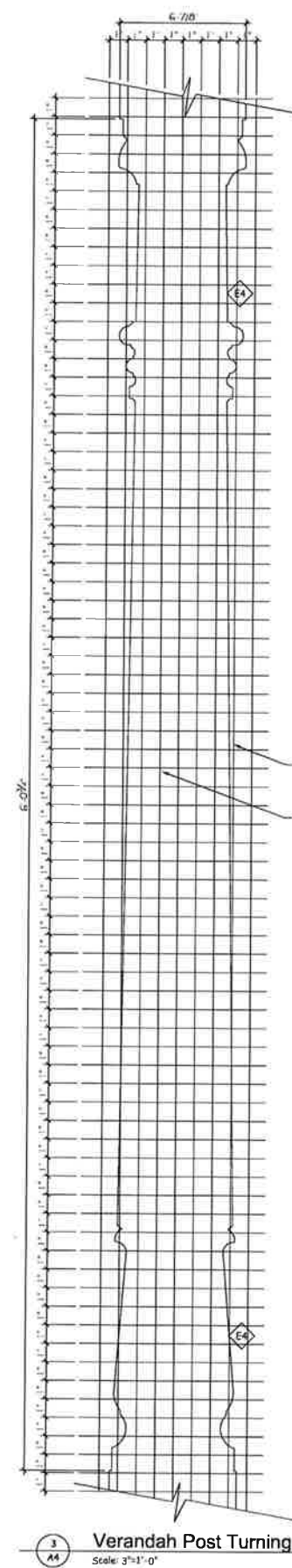
Checked By:

A3

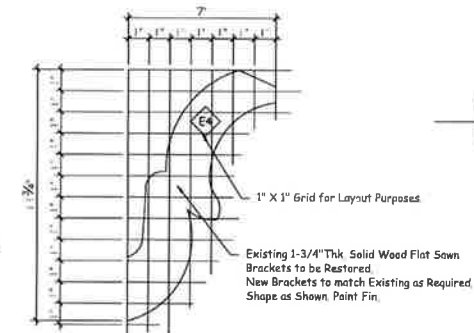


2 Verandah Detail - Section
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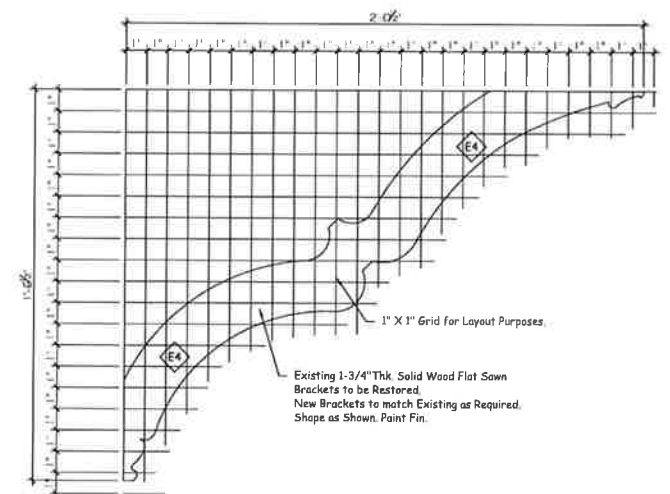
1 Verandah Detail - Elevation
Scale: 1/4"=1'-0"



3 Verandah Post Turning Detail
Scale: 3/8"=1'-0"



4 Verandah Bracket Detail
Scale: 3/8"=1'-0"



5 Verandah Bracket Detail
Scale: 3/8"=1'-0"

1" X 1" Grid for Turning Layout Purposes

Existing Turned Solid Wood Verandah Support Posts to be Restored. New Verandah Support Posts to Match Existing as Required. Shape as Shown. Paint Fin.

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and/or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish, Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec", 1"X4" Horizontal Rabbetted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

No.	Description	Date
1	Issued for Client Approval	20 / 07 / 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cms Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

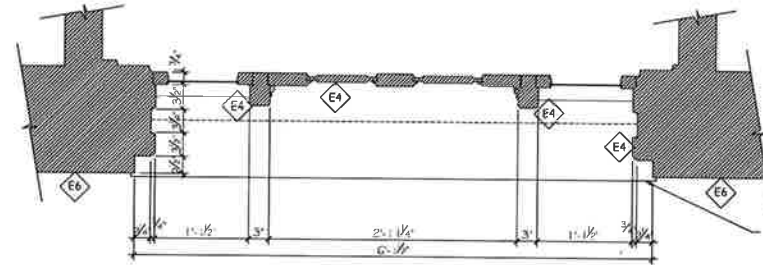
Verandah Details

Scale:	As Noted	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

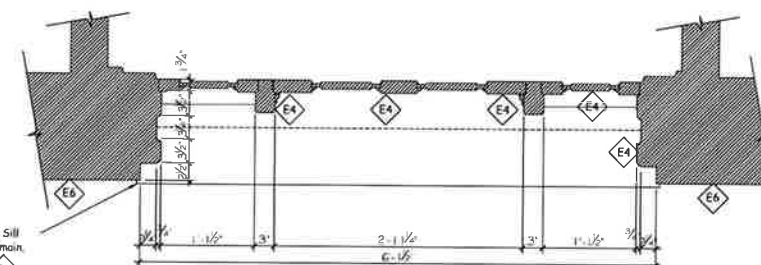
A4

Window & Door Refurbishing (General Notes)

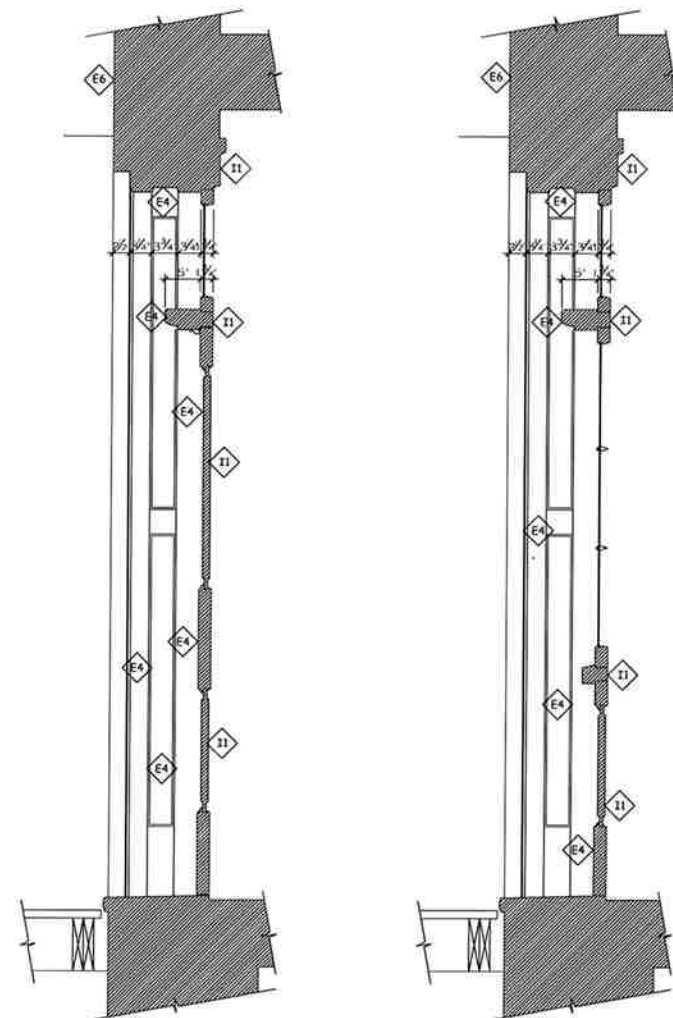
- 1) Initial inspection by qualified window restoration contractor to determine the general condition of the existing heritage windows and make recommendations for restoration on a window by window basis. Restoration approach to be approved by designer prior to commencement of the work.
- 2) Refurbish and or replace any wood jambs, hanging stiles, sills, lug sills, sash and muntin bars as required.
- 3) Remove any loose or deteriorated glazing putty, remove glass panel and stops. Clean glazing channel. Linseed oil the wood channel, oil base paint prime sash, reinstall glass panel in a bed of silicone caulking c/w glazing stops and glazing putty as required.
- 4) Paint finish after glazing putty has fully cured as required.



D100 Front Entrance - Plan
Scale: 1"=1'-0"

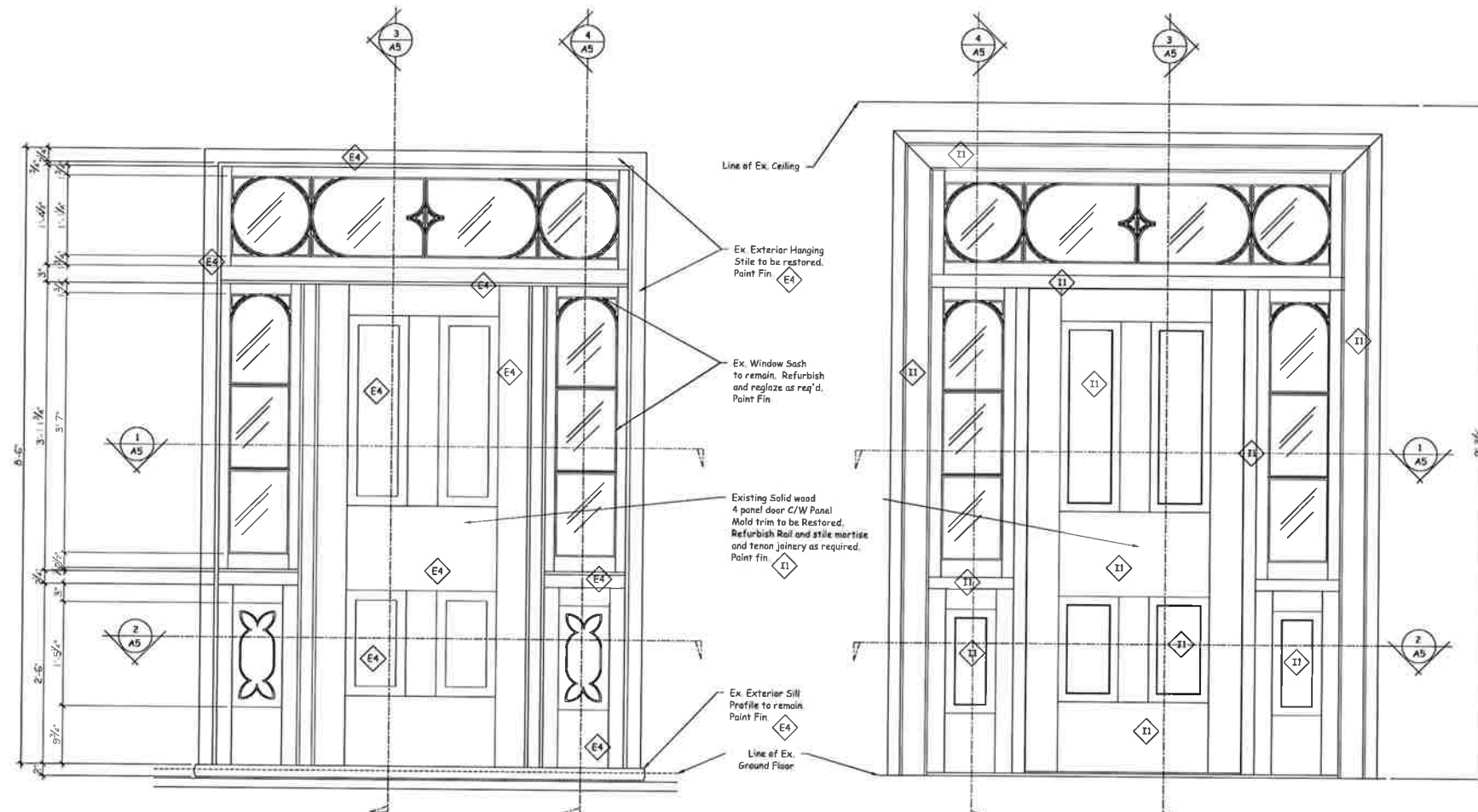


D100 Front Entrance - Plan
Scale: 1"=1'-0"



D100 Front Entrance - Section
Scale: 1"=1'-0"

D100 Front Entrance - Section
Scale: 1"=1'-0"



D100 Front Door - Exterior Elevation
Scale: 1"=1'-0"

D100 Front Door - Interior Elevation
Scale: 1"=1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec". 1"X4" Horizontal Rabbed Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

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No. Description Date

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QUALIFICATION INFORMATION

Scott Rushlow 29726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres. Markham ON L6G 0C8 905 892 5295

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Front Entrance Details

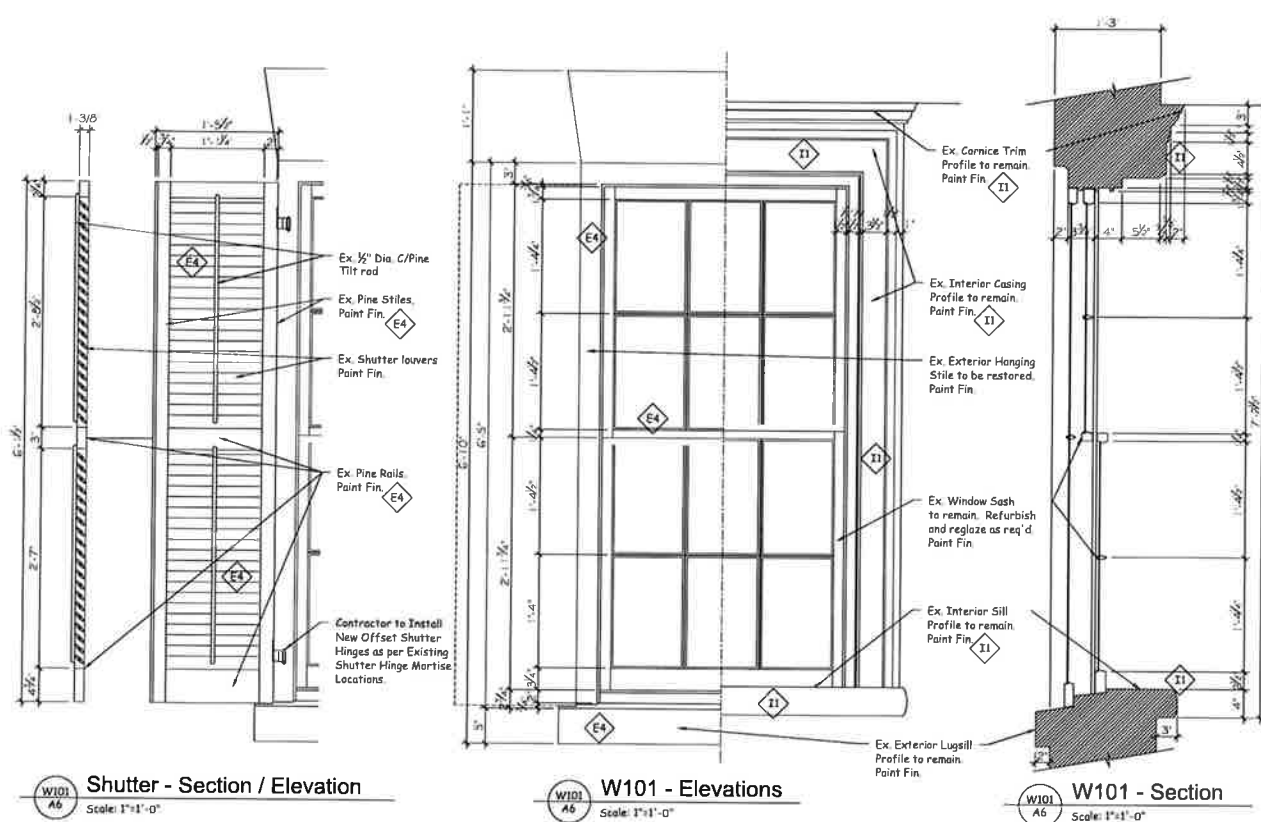
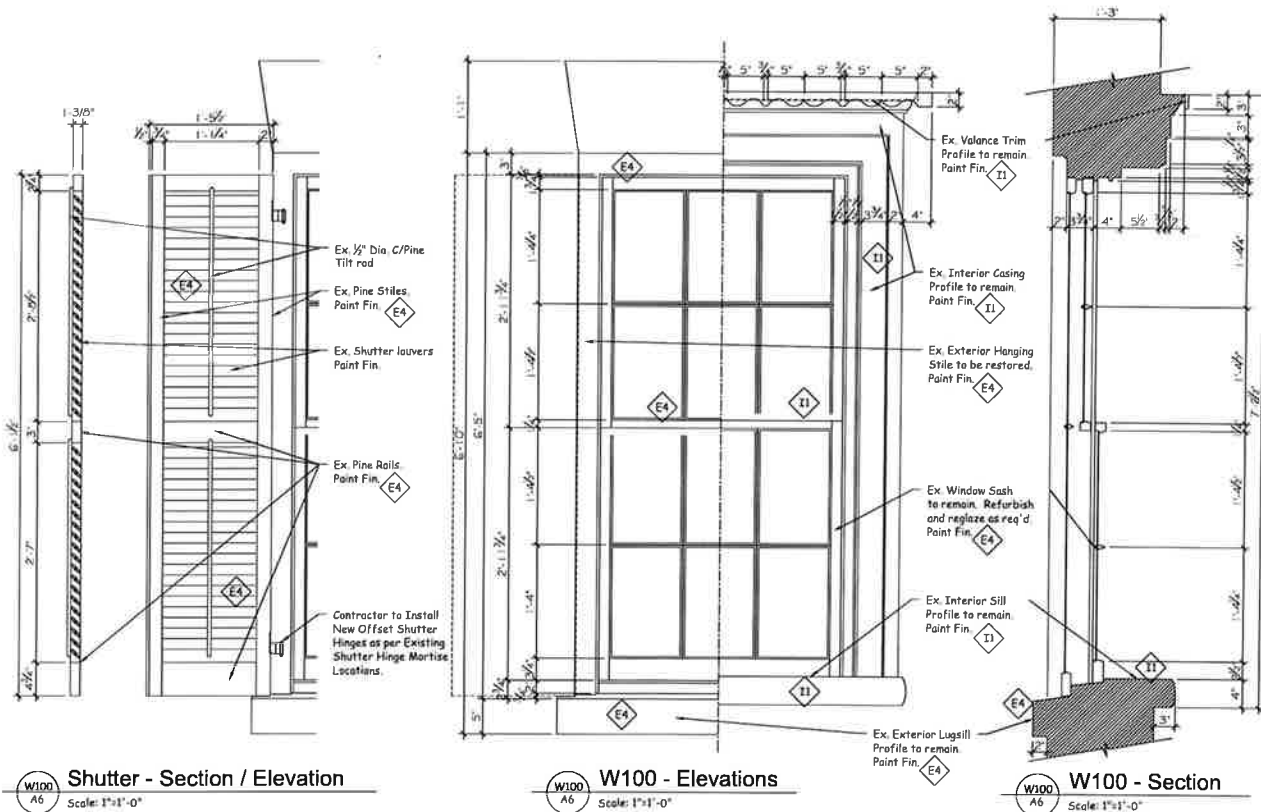
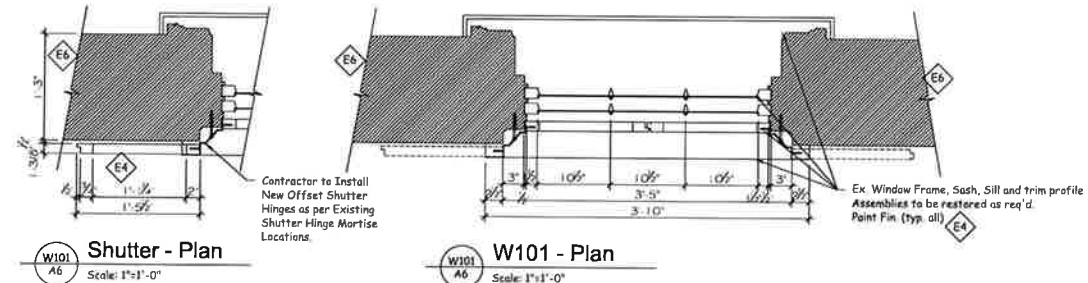
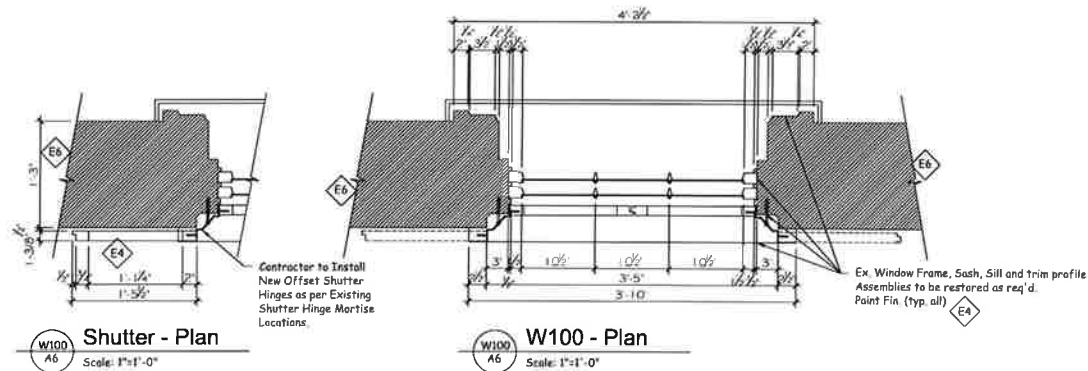
Scale:	As Noted	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

A5

DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13, Roofing c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough c/w all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish: Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec", 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins



1 Issued for Client Approval 20 / 07 / 2017

No. Description Date

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow 29726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Creek Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
1121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Window Details

Scale: As Noted	DRAWING NO.
Date: July 20, 2017	A6
Job No.	
Drawn By: S.R.	
Checked By:	

DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-Fin Flashings, Trims and Fittings as Req'd
E2	New Pre-Fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-Fin Flashings, Trims and Fittings as Req'd
E3	New Pre-Fin alum Eaves trough C/W all Pre-Fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Maibec", 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored, Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

1	Issued for Client Approval	20 / 07 / 2017
No.	Description	Date

The undersigned has reviewed and takes responsibility for
this design, and has the qualifications and meets the
requirements set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION

Scott Rushlow 20726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres. Markham ON L6G 0C8 905 852 5095

PROJECT

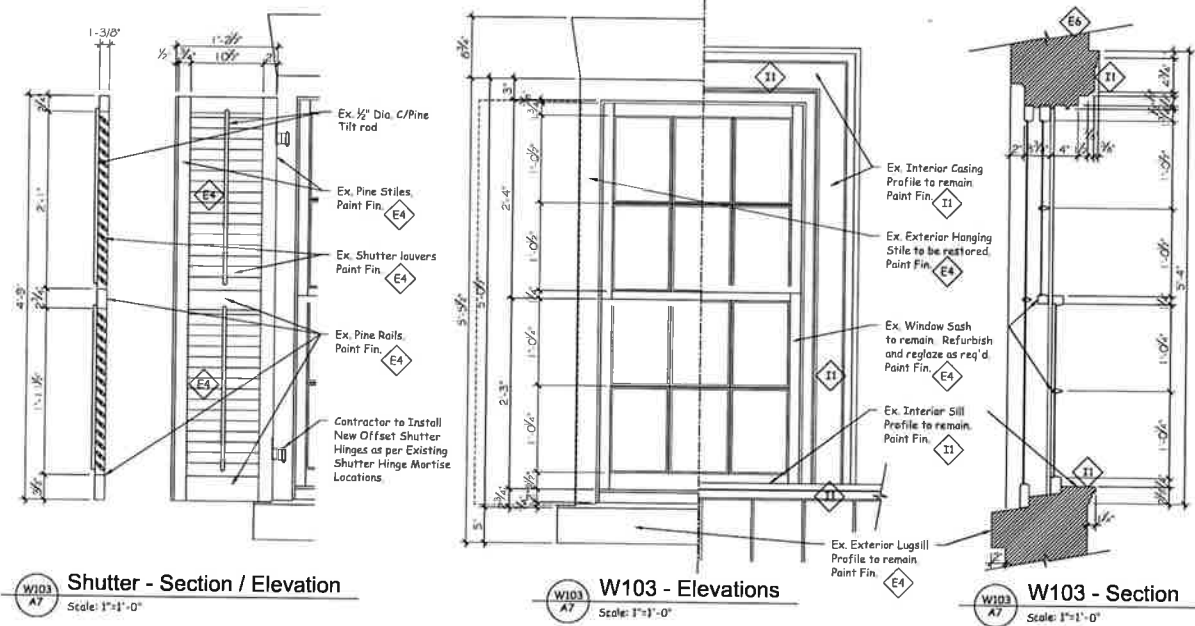
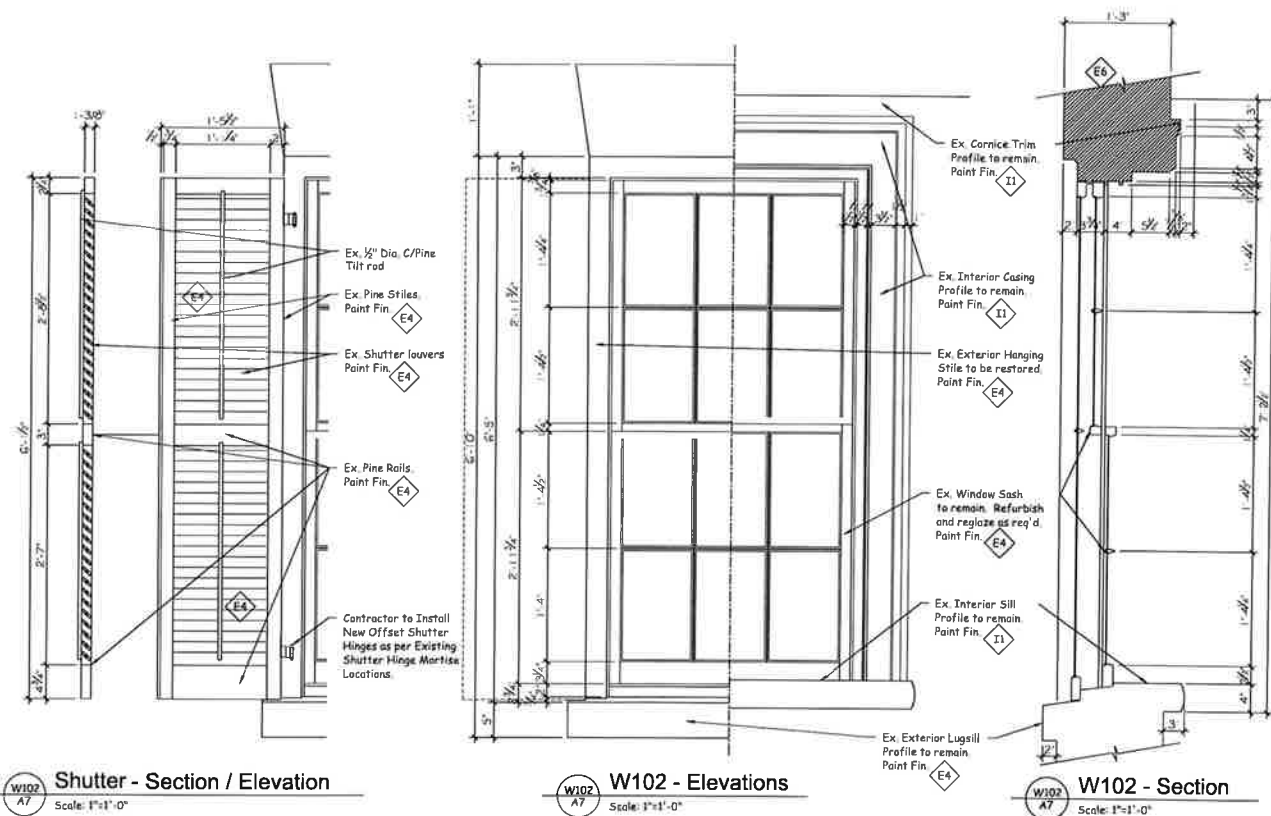
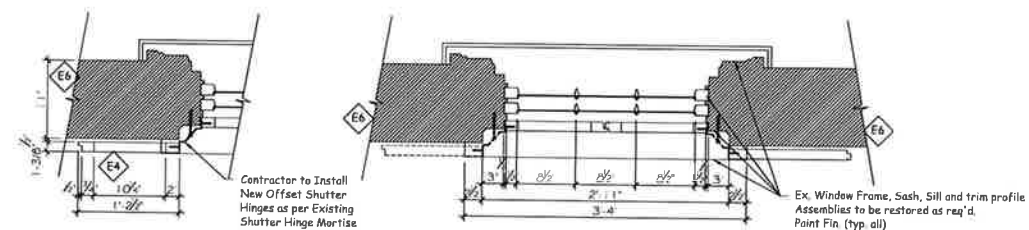
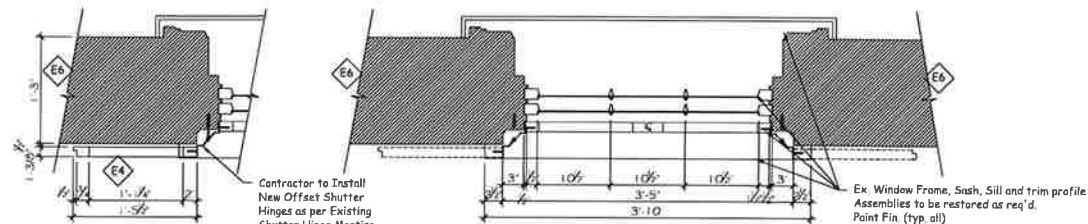
Jane McCague House
C/O Leslie Elgin Developments Inc.
1121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Window Details

Scale:	As Noted	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

A7



EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough c/w all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and/or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Exterior Paint Finish. Paint 3 coat work, 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E5	New Pre-finished wood siding by "Mulbec", 1"x4" Horizontal Rabbeted Bevel Siding. Install as per manufacturers specifications. Selected by Owner, Approved by Heritage Richmond Hill.
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

1 Issued for Client Approval 20 / 07 / 2017

No. Description Date

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QUALIFICATION INFORMATION

Scott Rushlow 29725
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Crow Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Window Details

Scale: As Noted DRAWING NO.

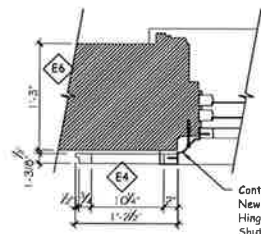
Date: July 20, 2017

Job No.

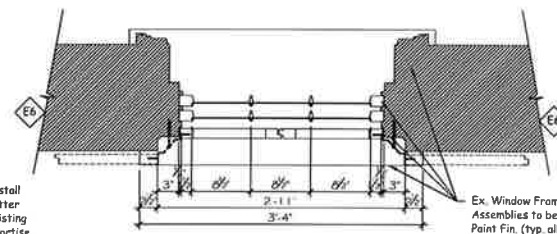
Drawn By: S.R.

Checked By:

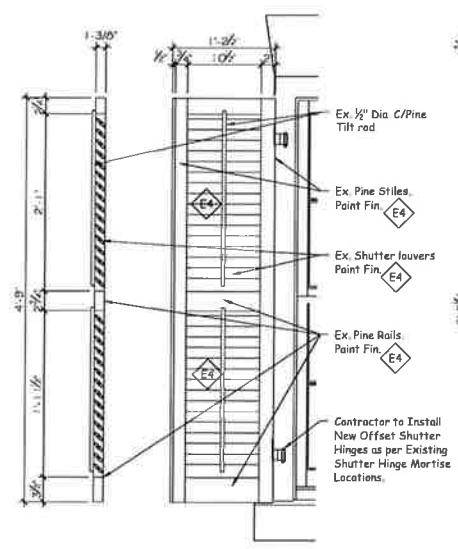
A8



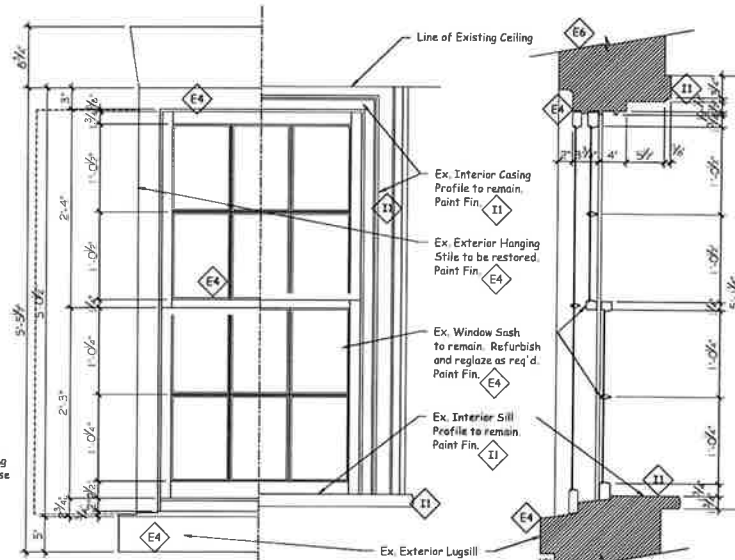
Shutter - Plan
Scale: 1"=1'-0"



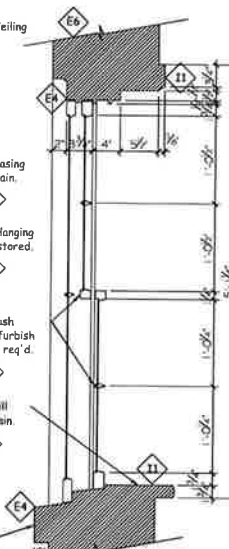
W200 - Plan
Scale: 1"=1'-0"



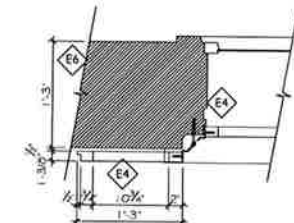
Shutter - Section / Elevation
Scale: 1"=1'-0"



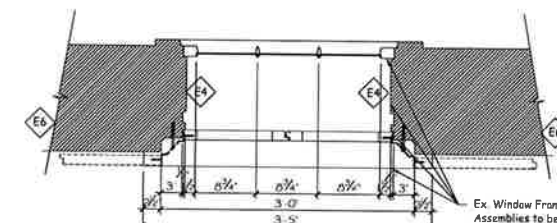
W200 - Elevations
Scale: 1"=1'-0"



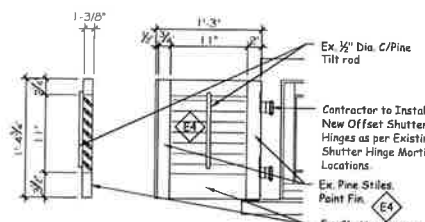
W200 - Section
Scale: 1"=1'-0"



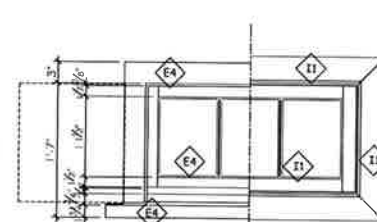
Shutter - Plan
Scale: 1"=1'-0"



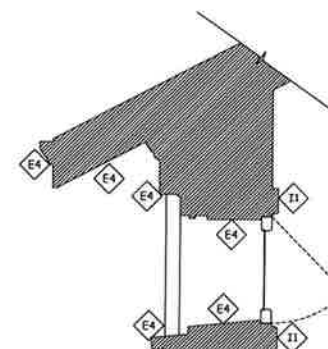
W201 - Plan
Scale: 1"=1'-0"




Shutter - Section / Elevation
Scale: 1"=1'-0"



W201 - Elevations
Scale: 1"=1'-0"



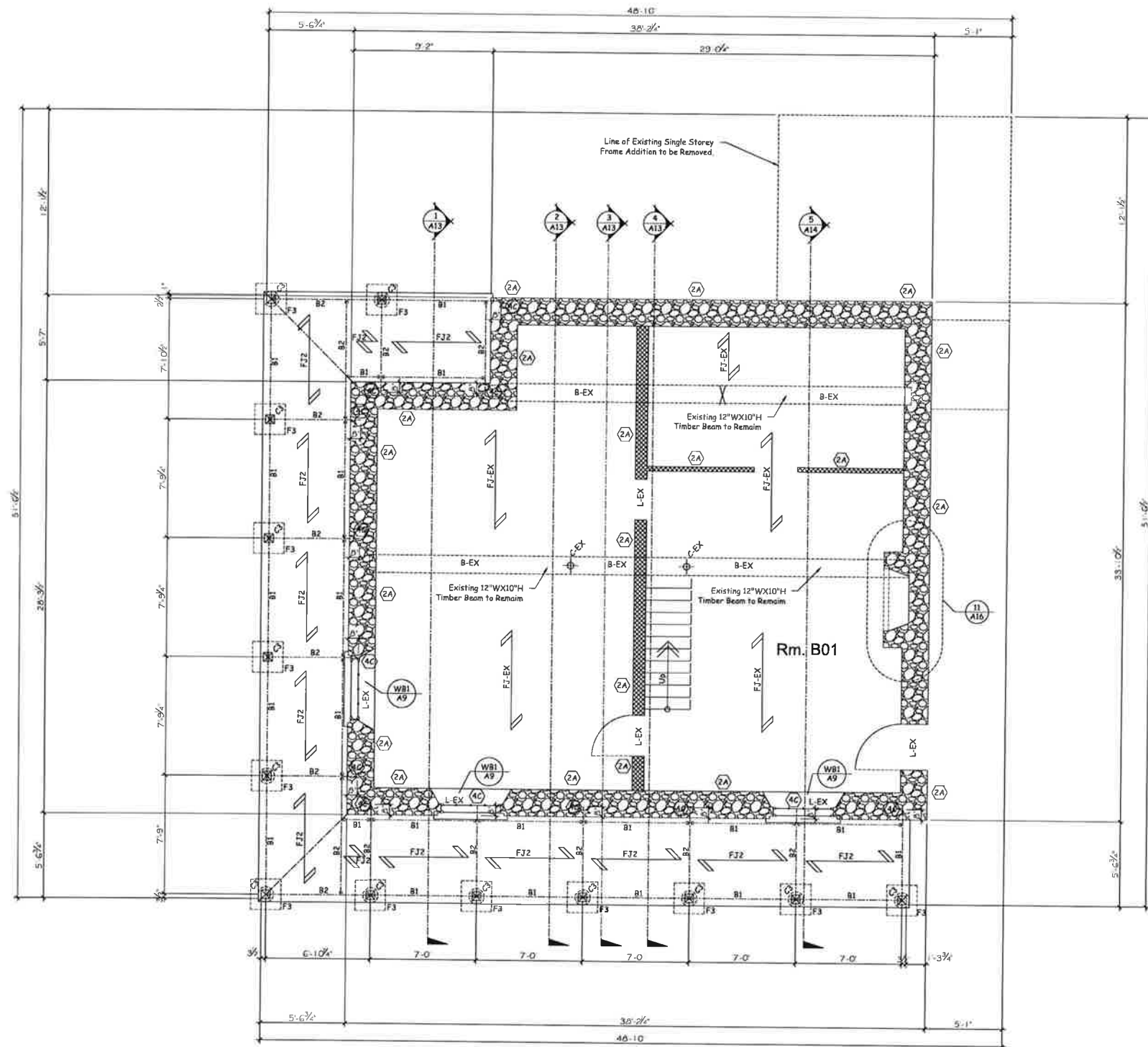
W201 - Section
Scale: 1"=1'-0"



DETAIL
NUMBER

DRAWING
NUMBER

LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L-EX	EXISTING LINTELS TO REMAIN
L1	2-2"x8" SPRUCE LINTEL
L2	2-2"x10" SPRUCE LINTEL
L3	2-2"x12" SPRUCE LINTEL
L4	3-2"x10" SPRUCE LINTEL
L5	3-2"x12" SPRUCE LINTEL
L6	1-3/4"x7-1/4" LVL
L7	3-1-3/4"x7-1/4" LVL
L8	3-2"x6" SPRUCE LINTEL
L9	1/2"THK X 4"W X 6'H ST LINTEL (Steel lintel as req'd)
	NOTE: ALL LINTELS TO BE SUPPORTED BY MIN 2-2"x6" SPRUCE POST AT EACH END



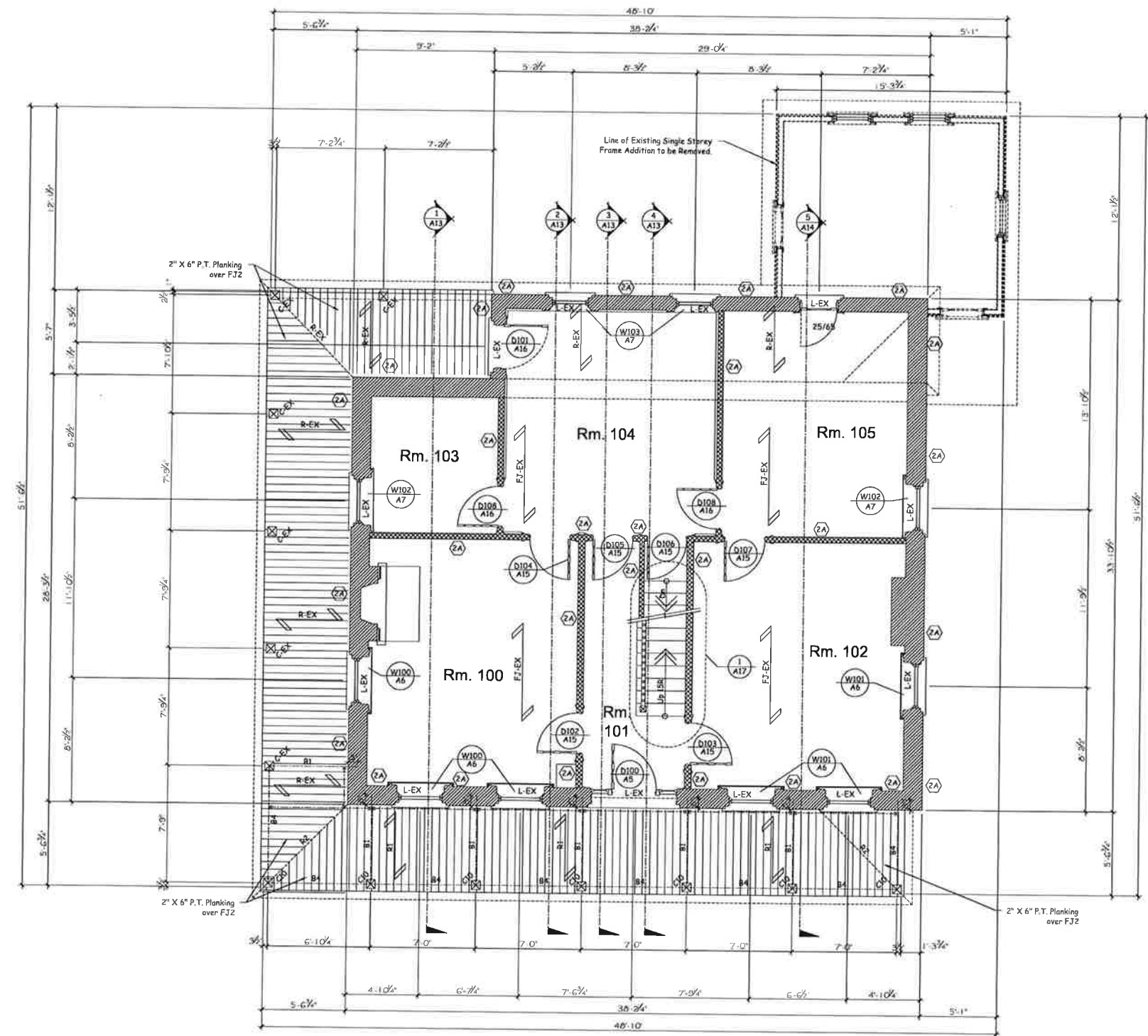
Foundation Plan
Scale: 1/4"=1'-0"

Existing Structural System to Remain "as is"
Replace Compromised Structural Components
to Match the Existing Original Part as Required.

A9

LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L-EX	EXISTING LINTELS TO REMAIN
L1	2-2"x8" SPRUCE LINTEL
L2	2-2"x10" SPRUCE LINTEL
L3	2-2"x12" SPRUCE LINTEL
L4	3-2"x10" SPRUCE LINTEL
L5	3-2"x12" SPRUCE LINTEL
L6	2-1-3/4"x7-1/4" LVL
L7	3-1-3/4"x7-1/4" LVL
L8	3-2"x6" SPRUCE LINTEL
L9	1/2" STEEL X 4"W X 6'H STL LINTEL (Stik Lintel as req'd)
NOTE: ALL LINTELS TO BE SUPPORTED BY MIN. 2-2"x8" SPRUCE POST AT EACH END	

DRAWING TITLE	
Ground Floor Plan	
Scale: 1/4"=1'-0"	DRAWING NO.
Date: July 20, 2017	A10
Job No.	
Drawn By: S.R.	
Checked By:	



Ground Floor Plan
Scale: 1/4"=1'-0"

Existing Structural System to Remain "as is"
Replace Compromised Structural Components
to Match the Existing Original Part as Required

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	2A EXISTING TO REMAIN
	2A EXISTING TO REMAIN
	2A EXISTING TO REMAIN
	2B EXISTING TO BE REMOVED
	2C EXISTING TO BE REMOVED
	2D EXISTING TO BE REMOVED
	2A EXISTING TO REMAIN
	2B EXISTING TO BE REMOVED
	2A EXISTING TO REMAIN
	2B EXISTING TO BE REMOVED

FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F3	2'-4" X 2'-4" X 8" UNREINFORCED POURED CONC. FOOTING DOWN MIN 4'-0" TO UNDISTURBED SOIL

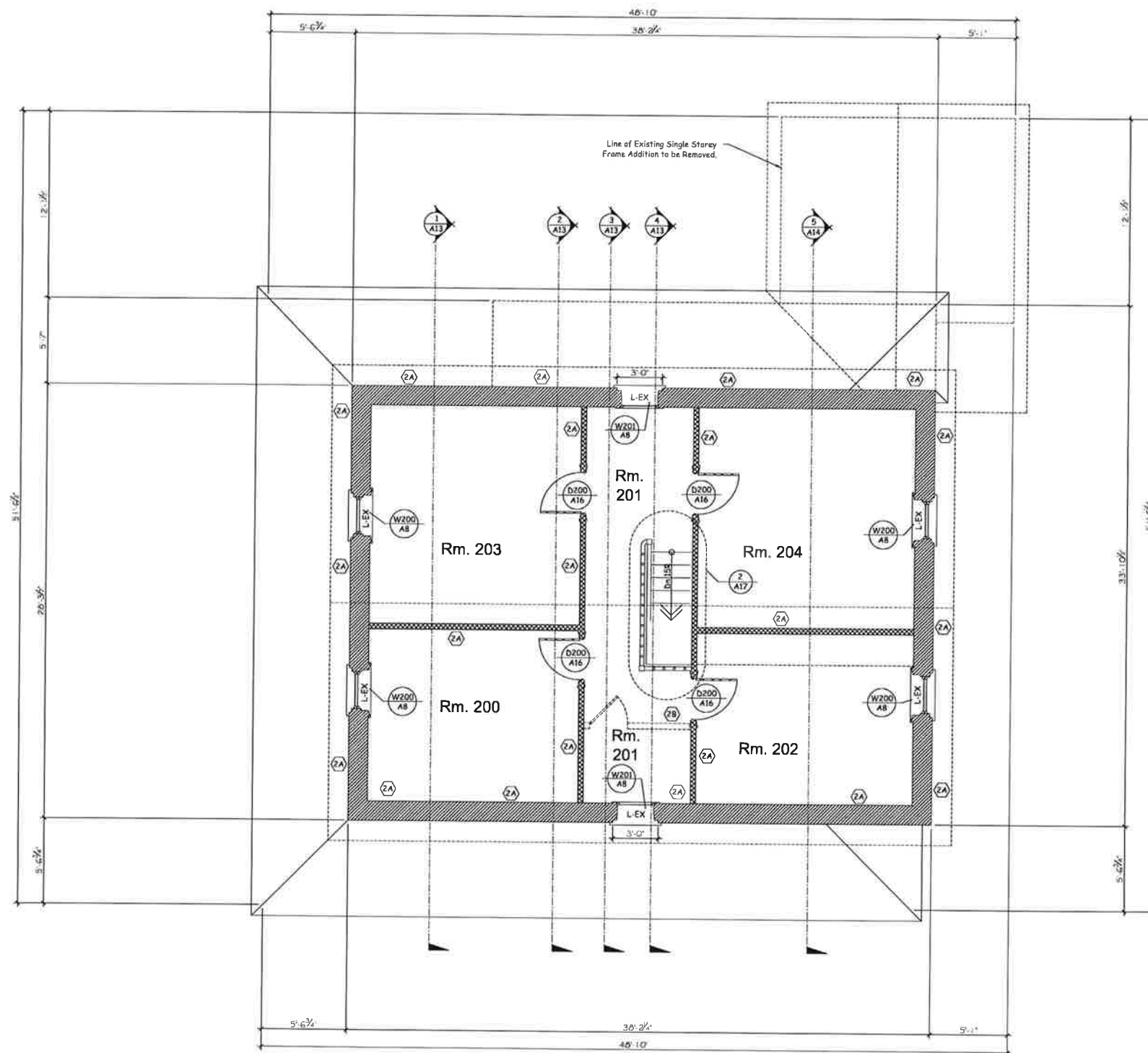
COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C-EX	EXISTING COLUMN TO REMAIN
C3	1'-0" DIA POURED CONC. PIER C/W CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 8"x4" 1" WOOD COLUMN ABOVE
C4-2	2'-2"x4" SPRUCE POST
C4-3	3'-2"x4" SPRUCE POST
C4-4	4'-2"x4" SPRUCE POST
C4-5	5'-2"x4" SPRUCE POST
C4-6	6'-2"x4" SPRUCE POST
C6-2	2'-2"x6" SPRUCE POST
C6-3	3'-2"x6" SPRUCE POST
C6-4	4'-2"x6" SPRUCE POST
C6-5	5'-2"x6" SPRUCE POST
C6-6	6'-2"x6" SPRUCE POST
C10	STRUCTURAL TURNED VERANDAH SUPPORT POST AS PER DETAIL

BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B-EX	EXISTING BEAM TO REMAIN
B1	2'-2"x8" B/U SPRUCE BEAM
B2	3'-2"x8" B/U SPRUCE BEAM
B3	4'-2"x8" B/U SPRUCE BEAM
B4	2'-2"x10" B/U SPRUCE BEAM
B5	3'-2"x10" B/U SPRUCE BEAM
B6	4'-2"x10" B/U SPRUCE BEAM
B7	2'-2"x12" B/U SPRUCE BEAM
B8	3'-2"x12" B/U SPRUCE BEAM
B9	4'-2"x12" B/U SPRUCE BEAM
B10	2'-1 3/4"x8-1/2" LVL B/U BEAM
B11	3'-1 3/4"x8-1/2" LVL B/U BEAM
B12	2'-1 3/4"x11-7/8" LVL B/U BEAM
B13	3'-1 3/4"x11-7/8" LVL B/U BEAM
B14	2'-1 3/4"x11-7/8" LVL B/U BEAM
B15	3'-1 3/4"x11-7/8" LVL B/U BEAM
B16	2'-1 3/4"x11-7/8" LVL B/U BEAM
B17	3'-1 3/4"x11-7/8" LVL B/U BEAM
B18	2'-1 3/4"x11-7/8" LVL B/U BEAM
B19	3'-1 3/4"x11-7/8" LVL B/U BEAM
B20	W250X58 STEEL BEAM
B21	W200X71 STEEL BEAM
B22	W200X71 STEEL BEAM OR W250X58
NOTE: ALL EXTERIOR BEAMS TO BE PRESSURE TREATED SPRUCE	

FLOOR JOIST SCHEDULE (2A)	
SYMBOL	DESCRIPTION
F3-EX	EXISTING FLOOR JOISTS TO REMAIN
F31	2"x8" SPR. JOISTS @ 1'-0" O/C
F32	2"x8" SPR. JOISTS @ 1'-4" O/C
F33	2"x10" SPR. JOISTS @ 1'-0" O/C
F34	2"x10" SPR. JOISTS @ 1'-4" O/C
F35	2"x12" SPR. JOISTS @ 1'-0" O/C
F36	2"x12" SPR. JOISTS @ 1'-4" O/C
F37	1 1/2"x10 1/2"x8" FLOOR JOISTS @ 1'-4" O/C
F38	1 1/2"x10 1/2"x8" FLOOR JOISTS @ 1'-4" O/C
F39	1 1/2"x10 1/2"x8" FLOOR JOISTS @ 1'-0" O/C
NOTE: INSTALL APPROVED GALV. JOIST HANGERS AS REQUIRED	
ALL EXTERIOR JOISTS TO BE PRESSURE TREATED SPRUCE	

ROOF RAFTER/CLG JOIST SCHEDULE (2A)	
SYMBOL	DESCRIPTION
R-EX	EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS
R1	2"x8" SPRUCE RAFTERS @ 1'-4" O/C
R2	2"x8" SPRUCE RAFTERS @ 1'-4" O/C
R3	2"x10" SPRUCE RAFTERS @ 1'-4" O/C
R4	2"x12" SPRUCE RAFTERS @ 1'-4" O/C
R5	2"x12" SPRUCE RAFTERS @ 1'-4" O/C
R6	2"x12" SPRUCE RIDGE BOARD / CLEAT
R7	2"x12" SPRUCE RIDGE BOARD / CLEAT
R8	2"x8" SPRUCE VALLEY/HIP RAFTER
R9	2"x12" SPRUCE VALLEY/HIP RAFTER
R10	2"x12" SPRUCE VALLEY RAFTER ON FLAT
R11	1-3/4"x11-4" LVL RIDGE BOARD
T1	PRE-ENGINEERED ROOF TRUSSES @ 1'-4" O/C. INSTALL AS PER MANUFACTURERS SPECIFICATIONS
T2	PRE-ENGINEERED ROOF TRUSSES @ 1'-0" O/C. INSTALL AS PER MANUFACTURERS SPECIFICATIONS
CJ1	2"x8" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ2	2"x8" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ3	2"x10" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ4	2"x12" SPRUCE CEILING JOISTS @ 1'-4" O/C
WC1	2"x8" SPRUCE WALL CLEAT
WC2	2"x10" SPRUCE WALL CLEAT
WC3	2"x12" SPRUCE WALL CLEAT

LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L-EX	EXISTING LINTELS TO REMAIN
L1	2'-2"x8" SPRUCE LINTEL
L2	2'-2"x10" SPRUCE LINTEL
L3	2'-2"x12" SPRUCE LINTEL
L4	3'-2"x10" SPRUCE LINTEL
L5	3'-2"x12" SPRUCE LINTEL
L6	2'-1 3/4"x11-7/8" LVL
L7	3'-1 3/4"x11-7/8" LVL
L8	3'-2"x8" SPRUCE LINTEL
L9	1/2" THK X 4" W X 6" H STL LINTEL (Steel Lintel as req'd)
NOTE: ALL LINTELS TO BE SUPPORTED BY MIN 2'-2"x8" SPRUCE POST AT EACH END	



Second Floor Plan
Scale: 1/4"=1'-0"

Existing Structural System to Remain "as is"
Replace Compromised Structural Components
to Match the Existing Original Part as Required.

DETAIL
NUMBER

DRAWING
NUMBER

1	Issued for Client Approval	20 / 07 / 2017
---	----------------------------	----------------

No.	Description	Date
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		

QUALIFICATION INFORMATION	
Scott Rushlow	29/25
NAME:	SIGNATURE: BCIN
REGISTRATION INFORMATION	
Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT
Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Second Floor Plan

Scale:	1/4"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

A11

FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F3	2'-4" X 2'-4" X 8" UNREINFORCED POURED CONC. FOOTING DOWN MIN. 4'-0" TO UNDISTURBED SOL.

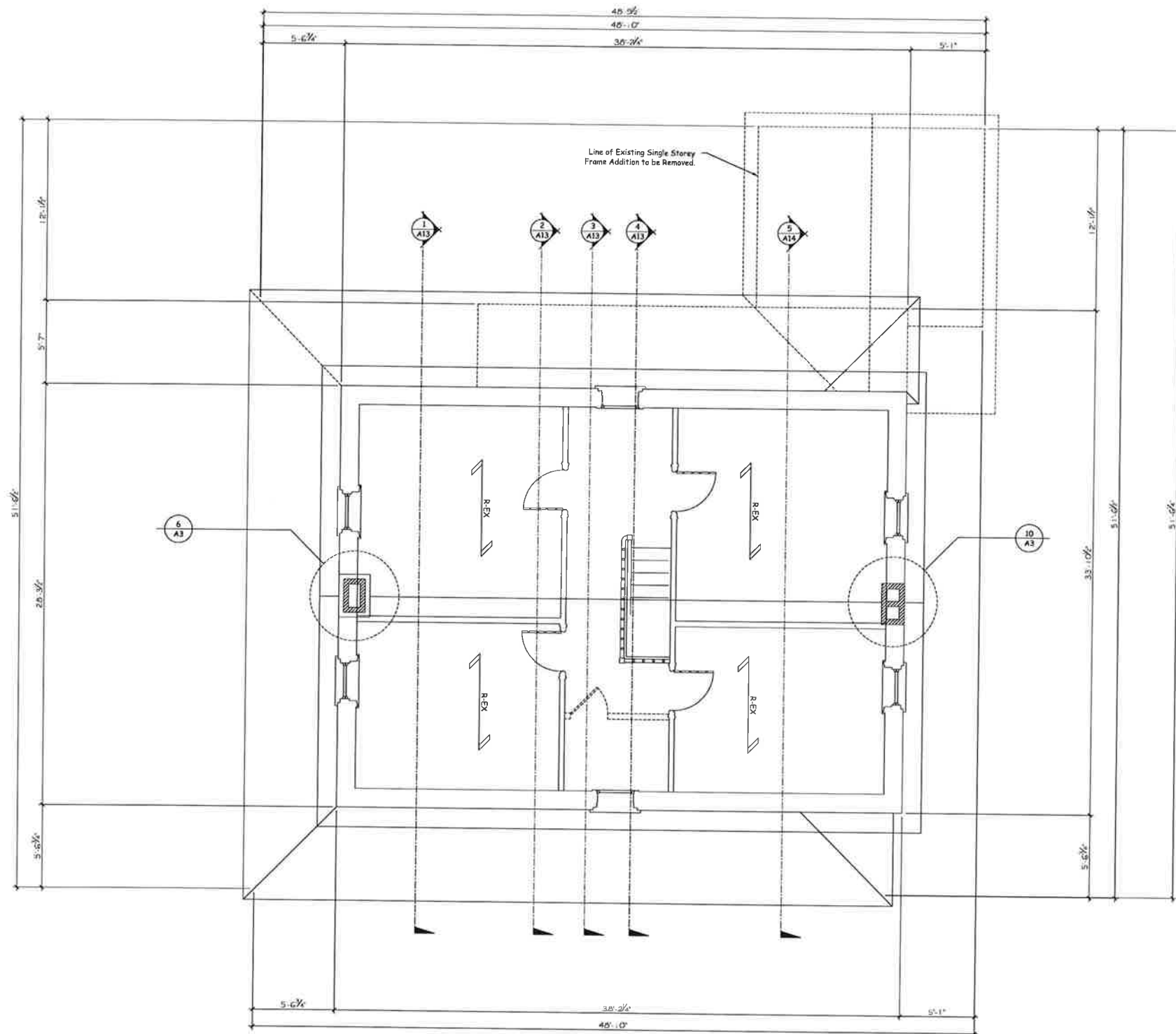

COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C-X	EXISTING COLUMN TO REMAIN
C-1	1'-0" DIA POURED CONC PIER G/CF CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 6"x6" PT. WOOD COLUMN ABOVE
C-2	5-2"x4" SPRUCE POST
C-3	3-2"x4" SPRUCE POST
C-4	4-2"x4" SPRUCE POST
C-5	5-2"x4" SPRUCE POST
C-6	6-2"x4" SPRUCE POST
C-7	2-2"x6" SPRUCE POST
C-8	3-2"x6" SPRUCE POST
C-9	4-2"x6" SPRUCE POST
C-10	5-2"x6" SPRUCE POST
C-11	6-2"x6" SPRUCE POST
C10	STRUCTURAL TURNES VENEANDH POST POST AS SHOWN

BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B-EX	EXISTING BEAM TO REMAIN
B1	2'-0" X 8' BAU SPRUCE BEAM
B2	3'-0" X 8' BAU SPRUCE BEAM
B3	4'-0" X 8' BAU SPRUCE BEAM
B4	2'-11" X 8' BAU SPRUCE BEAM
B5	3'-0" X 8' BAU SPRUCE BEAM
B6	4'-0" X 8' BAU SPRUCE BEAM
B7	2'-11" X 8' BAU SPRUCE BEAM
B8	3'-0" X 8' BAU SPRUCE BEAM
B9	4'-0" X 8' BAU SPRUCE BEAM
B10	2 1/4" X 9'-1/2" LVL BAU BEAM
B11	3 1/4" X 9'-1/2" LVL BAU BEAM
B12	2 1/4" X 9'-1/2" LVL BAU BEAM
B13	3 1/4" X 9'-1/2" LVL BAU BEAM
B14	2 1/4" X 3'-2" LVL BAU BEAM
B15	3 1/4" X 3'-2" LVL BAU BEAM
B16	2 1/4" X 3'-2" LVL BAU BEAM
B17	3 1/4" X 3'-2" LVL BAU BEAM
B18	2 1/4" X 4'-4" LVL BAU BEAM
B19	3 1/4" X 4'-4" LVL BAU BEAM
B20	W20X58 STEEL BEAM
B21	W20X57 STEEL BEAM
B22	W20X58 STEEL BEAM OR W20X57
	NOTE: ALL EXISTING BEAMS TO BE PRESSURE TREATED S/PCE

FLOOR JOIST SCHEDULE	
SYMBOL	DESCRIPTION
FJ-EX	EXISTING FLOOR JOISTS TO REMAIN
FJ1	2"X8" SPR. JOISTS @ 1'-0" O/C
FJ2	2"X8" SPR. JOISTS @ 1'-4" O/C
FJ3	2"X10" SPR. JOISTS @ 1'-0" O/C
FJ4	2"X10" SPR. JOISTS @ 1'-4" O/C
FJ5	2"X12" SPR. JOISTS @ 1'-0" O/C
FJ6	2"X12" SPR. JOISTS @ 1'-4" O/C
FJ7	T11/130 11/16" FLOOR JOISTS @ 1'-4" O/C
FJ8	T11/560 11/16" FLOOR JOISTS @ 1'-4" O/C
FJ9	T11/560 11/16" FLOOR JOISTS @ 1'-0" O/C
NOTE: INSTALL APPROVED GALV. JOIST HANGERS AS REQUIRED	
ALL EXTERIOR JOISTS TO BE PRESSURE TREATED SPRUCE	

ROOF RAFTER/CJLG JOIST SCHEDULE		(A) (N)
SYMBOL	DESCRIPTION	
A-EX	EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS	
R1	"2X6" SPRUCE RAFTERS @ 1'-4" O/C	
R2	"2X6" SPRUCE RAFTERS @ 1'-4" O/C	
R3	"2X10" SPRUCE RAFTERS @ 1'-4" O/C	
R4	"2X12" SPRUCE RAFTERS @ 1'-4" O/C	
R5	"2X12" SPRUCE LOOK-OUT RAFTERS @ 1'-4" O/C	
R6	"7X10" SPRUCE RIDGE BOARD / CLEAT	
R7	"2X12" SPRUCE RIDGE BOARD / CLEAT	
R8	"2X12" SPRUCE VALLEY/HIP RAFTER	
R9	"2X12" SPRUCE VALLEY/HIP RAFTER	
R10	"2X12" SPRUCE VALLEY RAFTER ON FLAT	
R11	1/8"x11"x1" LVL RIDGE BOARD	
T1	PRE-ENGINEERED ROOF TRUSSES @ 1'-4" O/C, INSTALLED AS MANUFACTURERS SPECIFICATIONS	
T2	PRE-ENGINEERED ROOF TRUSSES @ 1'-4" O/C, INSTALLED AS MANUFACTURERS SPECIFICATIONS	
C1	"2X6" SPRUCE CEILING JOISTS @ 1'-4" O/C	
C2	"2X6" SPRUCE CEILING JOISTS @ 1'-4" O/C	
C3	"2X10" SPRUCE CEILING JOISTS @ 1'-4" O/C	
C4	"2X12" SPRUCE CEILING JOISTS @ 1'-4" O/C	
WC1	"2X12" SPRUCE WALL CLEAT	
WC2	"2X12" SPRUCE WALL CLEAT	
WC3	"2X12" SPRUCE WALL CLEAT	

LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L-EX	EXISTING LINTELS TO REMAIN
L1	2'-0"X8" SPRUCE LINTEL
L2	2'-2"x10" SPRUCE LINTEL
L3	2'-2"x12" SPRUCE LINTEL
L4	2'-2"x10" SPRUCE LINTEL
L5	3'-2"x12" SPRUCE LINTEL
L6	2'-1-3/4"x7-1/4" LVL
L7	3'-1-3/4"x7-1/4" LVL
L8	3'-2"x6" SPRUCE LINTEL
L9	1/2"THK X 4"W X 6'H STL LINTEL (Steel Lintel as req'd)
NOTE: ALL LINTELS TO BE SUPPORTED BY MIN. 2'-0"X8" SPRUCE POST AT EACH END	



Roof Framing Plan

Scale: $\frac{1}{4}''=1'-0''$

Existing Structural System to Remain "as is"
Replace Compromised Structural Components
to Match the Existing Original Part as Required.

1	Issued for Client Approval	20 / 07 / 2017
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

NAME	SIGNATURE	BCIN
Scott Rushlow		29726

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	39924
FIRM	HCIN

SCOTT RUSHLOW
a s s o c i a t e s L t d

111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague House

C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Roof Framing Plan

Scale:	$\frac{1}{4}''=1'-0''$	DRAWING NO.
Date:	July 20, 2017	A12
Job No.		
Drawn By:	S.R.	
Checked By:		

SYMBOL	DESCRIPTION
	2A EXISTING TO REMAIN
	2A EXISTING TO REMAIN
	2A EXISTING TO REMAIN
	2B EXISTING TO BE REMOVED
	2C
	2D
	2E
	2F
	2G
	2H
	2I
	2J
	2K
	2L
	2M
	2N
	2O
	2P
	2Q
	2R
	2S
	2T
	2U
	2V
	2W
	2X
	2Y
	2Z

SYMBOL	DESCRIPTION
	F3 8" x 8" x 4' x 8" UNREINFORCED POURED CONC. FOOTING DOWN MIN. 4'-0" TO UNDISTURBED SOIL

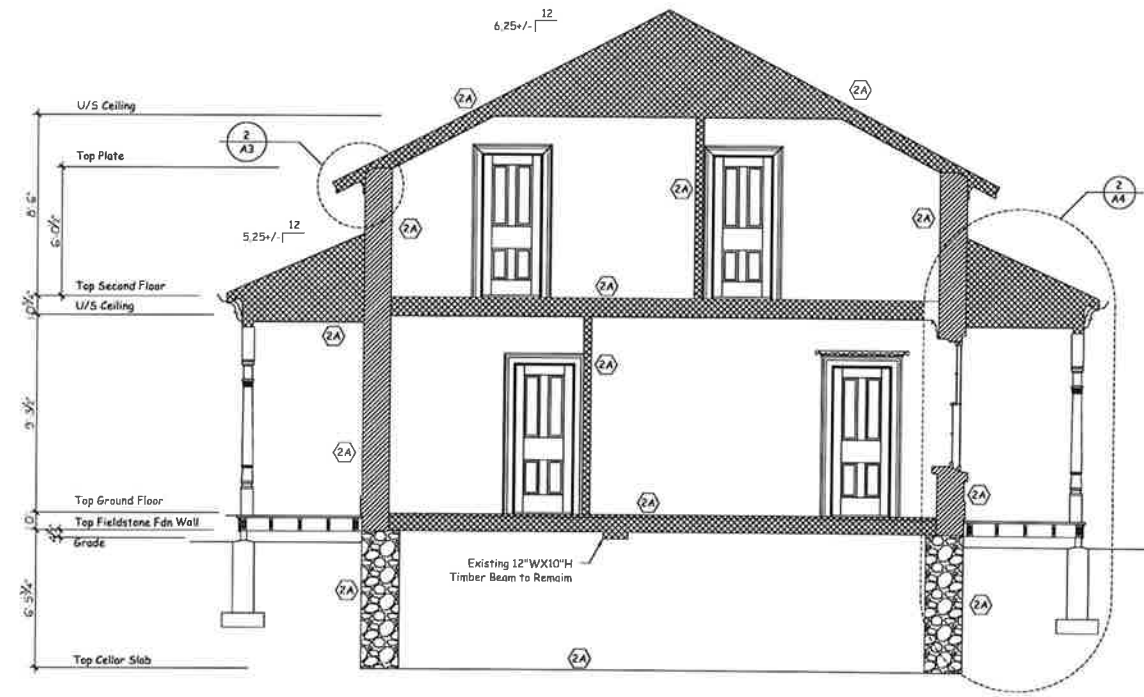
SYMBOL	DESCRIPTION
	C-EX EXISTING COLUMN TO REMAIN
	C3 1'-0" DIA. POURED CONC. PIER C/W CAST IN PLACE GALV. STEEL SADDLE TO ACCEPT 8"x8" FT. WOOD COLUMN ABOVE
	C4-2 2'-2"x4" SPRUCE POST
	C4-3 3'-2"x4" SPRUCE POST
	C4-4 4'-2"x4" SPRUCE POST
	C4-5 5'-2"x4" SPRUCE POST
	C4-6 6'-2"x4" SPRUCE POST
	C6-2 2'-2"x6" SPRUCE POST
	C6-3 3'-2"x6" SPRUCE POST
	C6-4 4'-2"x6" SPRUCE POST
	C6-5 5'-2"x6" SPRUCE POST
	C6-6 6'-2"x6" SPRUCE POST
	C10 STRUCTURAL TURNED VERANDA SUPPORT POSTS AS PER DETAIL

SYMBOL	DESCRIPTION
	B-EX EXISTING BEAM TO REMAIN
	B1 2'-2"x8" B/U SPRUCE BEAM
	B2 2'-2"x8" B/U SPRUCE BEAM
	B3 4'-2"x8" B/U SPRUCE BEAM
	B4 2'-2"x10" B/U SPRUCE BEAM
	B5 3'-2"x10" B/U SPRUCE BEAM
	B6 4'-2"x10" B/U SPRUCE BEAM
	B7 2'-2"x12" B/U SPRUCE BEAM
	B8 3'-2"x12" B/U SPRUCE BEAM
	B9 4'-2"x12" B/U SPRUCE BEAM
	B10 2'-1 3/4"x9-1/2" LVL B/U BEAM
	B11 3'-1 3/4"x9-1/2" LVL B/U BEAM
	B12 2'-1 3/4"x11-7/8" LVL B/U BEAM
	B13 3'-1 3/4"x11-7/8" LVL B/U BEAM
	B14 2'-1 3/4"x11-7/8" LVL B/U BEAM
	B15 3'-1 3/4"x11-7/8" LVL B/U BEAM
	B16 2'-1 3/4"x11-7/8" LVL B/U BEAM
	B17 3'-1 3/4"x11-7/8" LVL B/U BEAM
	B18 2'-1 3/4"x11-7/8" LVL B/U BEAM
	B19 3'-1 3/4"x11-7/8" LVL B/U BEAM
	B20 W250X58 STEEL BEAM
	B21 W200X27 STEEL BEAM
	B22 W200X17 STEEL BEAM OR W250X58
	NOTE: ALL EXTERIOR BEAMS TO BE PRESSURE TREATED SPRUCE

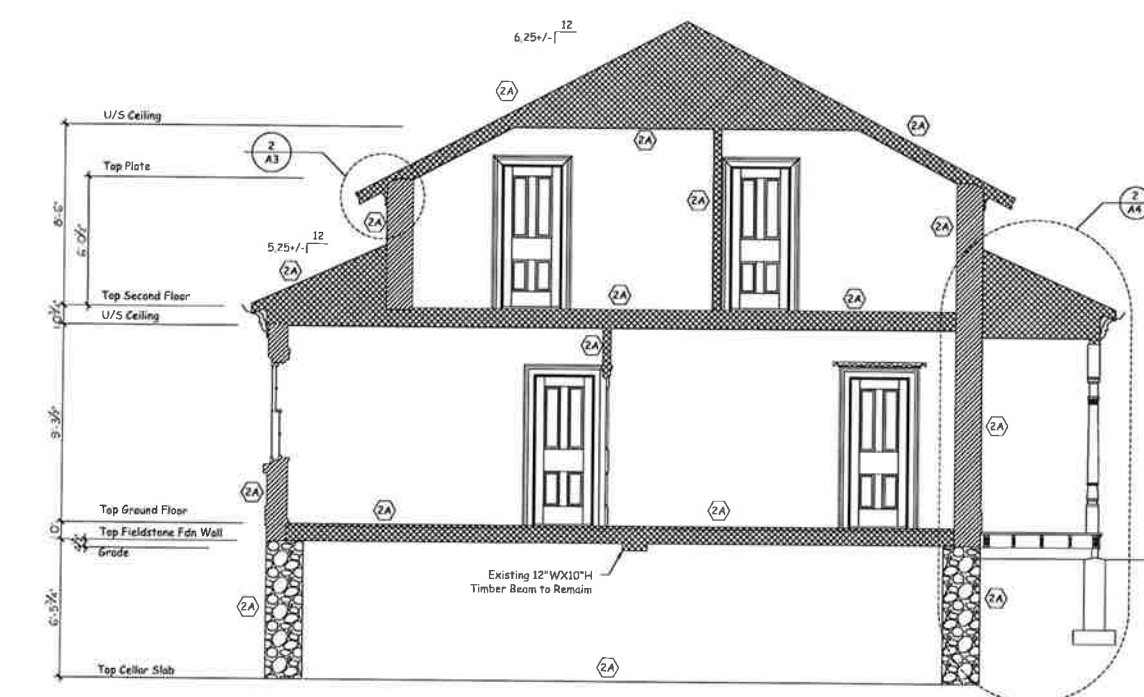
SYMBOL	DESCRIPTION
	FJ-EX EXISTING FLOOR JOISTS TO REMAIN
	FJ1 2"x8" SPR. JOISTS @ 1'-0" O/C
	FJ2 2"x8" SPR. JOISTS @ 1'-4" O/C
	FJ3 2"x10" SPR. JOISTS @ 1'-0" O/C
	FJ4 2"x10" SPR. JOISTS @ 1'-4" O/C
	FJ5 2"x12" SPR. JOISTS @ 1'-0" O/C
	FJ6 2"x12" SPR. JOISTS @ 1'-4" O/C
	FJ7 T31/30 IS-7/8" FLOOR JOISTS @ 1'-4" O/C
	FJ8 T31/30 IS-7/8" FLOOR JOISTS @ 1'-4" O/C
	FJ9 T31/30 IS-7/8" FLOOR JOISTS @ 1'-0" O/C
	NOTE: INSTALL APPROVED GALV. JOIST HANGERS AS REQUIRED
	ALL EXTERIOR JOISTS TO BE PRESSURE TREATED SPRUCE

SYMBOL	DESCRIPTION
	R-EX EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS
	R1 2"x8" SPRUCE RAFTERS @ 1'-4" O/C
	R2 2"x8" SPRUCE RAFTERS @ 1'-4" O/C
	R3 2"x10" SPRUCE RAFTERS @ 1'-4" O/C
	R4 2"x12" SPRUCE RAFTERS @ 1'-4" O/C
	R5 2"x6" SPRUCE LOOK-OUT RAFTERS @ 1'-4" O/C
	R6 2"x10" SPRUCE RIDGE BOARD / CLEAT
	R7 2"x12" SPRUCE RIDGE BOARD / CLEAT
	R8 2"x8" SPRUCE VALLEY/HIP RAFTER
	R9 2"x10" SPRUCE VALLEY/HIP RAFTER
	R10 2"x12" SPRUCE VALLEY/HIP RAFTER
	R11 1-3/4"x11-7/8" LVL RIDGE BOARD
	T1 PRE-ENGINEERED ROOF TRUSSES @ 1'-4" O/C. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
	T2 PRE-ENGINEERED ROOF TRUSSES @ 2'-0" O/C. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
	C21 2"x8" SPRUCE CEILING JOISTS @ 1'-4" O/C
	C22 2"x8" SPRUCE CEILING JOISTS @ 1'-4" O/C
	C23 2"x10" SPRUCE CEILING JOISTS @ 1'-4" O/C
	C24 2"x12" SPRUCE CEILING JOISTS @ 1'-4" O/C
	WC1 2"x8" SPRUCE WALL CLEAT
	WC2 2"x10" SPRUCE WALL CLEAT
	WC3 2"x12" SPRUCE WALL CLEAT

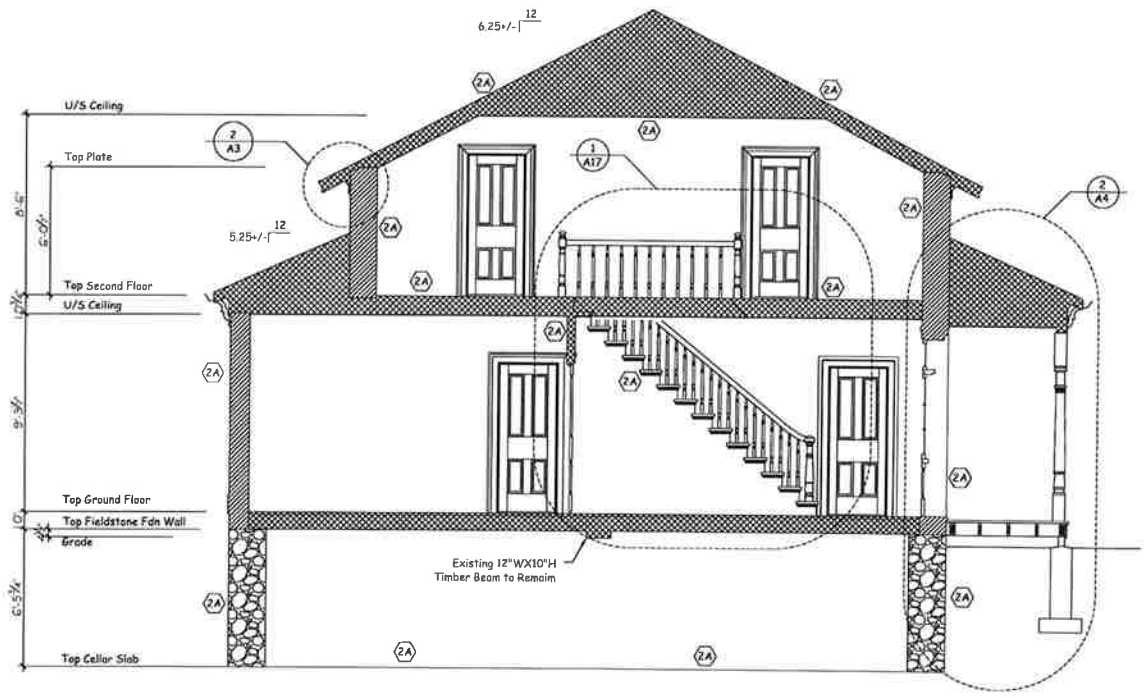
SYMBOL	DESCRIPTION
	L-EX EXISTING LINTELS TO REMAIN
	L1 2'-2"x8" SPRUCE LINTEL
	L2 2'-2"x10" SPRUCE LINTEL
	L3 2'-2"x12" SPRUCE LINTEL
	L4 3'-2"x10" SPRUCE LINTEL
	L5 3'-2"x12" SPRUCE LINTEL
	L6 2'-1 3/4"x7-1/4" LVL
	L7 3'-1 3/4"x7-1/4" LVL
	L8 3'-2"x8" SPRUCE LINTEL
	L9 1/2" THK X 4" W X 6" H STL LINTEL (Steel Lintel as req'd)
	NOTE: ALL LINTELS TO BE SUPPORTED BY MIN. 2'-2"x8" SPRUCE POST AT EACH END



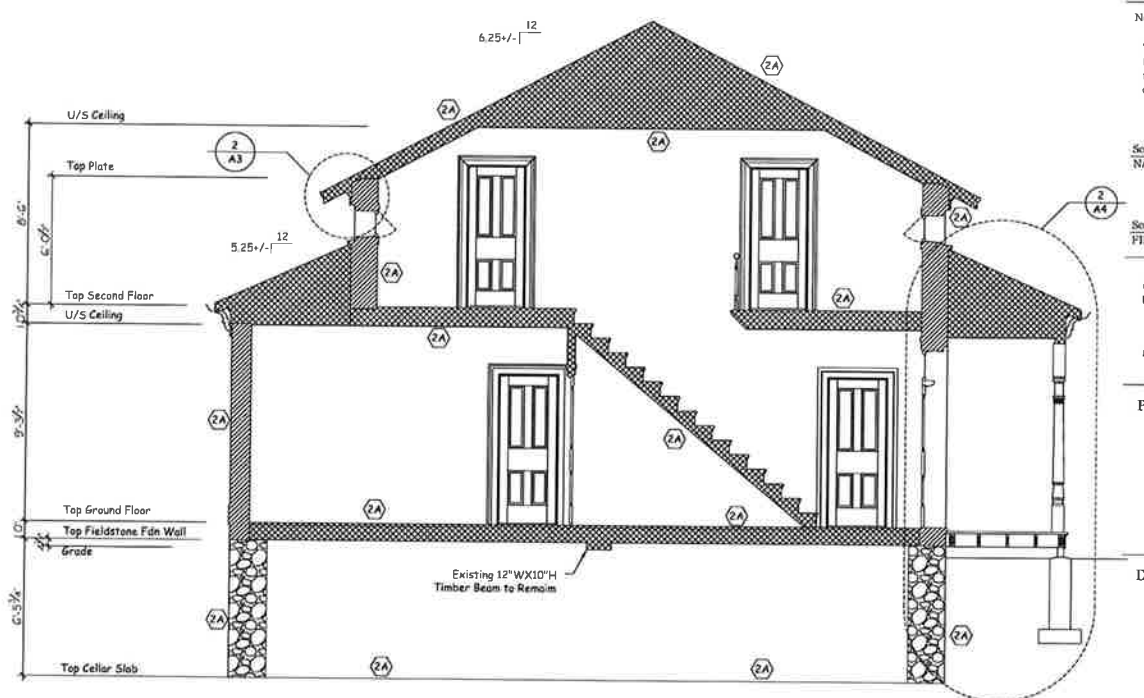
Section
Scale: 1/4"=1'-0"



Section
Scale: 1/4"=1'-0"



Section
Scale: 1/4"=1'-0"



Section
Scale: 1/4"=1'-0"

DETAIL
NUMBER
DRAWING
NUMBER

1 Issued for Client Approval 20 / 07 / 2017

No. Description Date
The undersigned has reviewed and takes responsibility for
this design, and has the qualifications and meets the
requirements set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION
Scott Rushlow 39726
NAME SIGNATURE BCTN

REGISTRATION INFORMATION
Scott Rushlow Associates Ltd 35924
FIRM BCTN


SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres. Markham ON L6G 0C8 905 852 5895

PROJECT
Jane McCague House
C/O Leslie Elgin Developments Inc.
1121 Leslie Street
Richmond Hill, Ontario

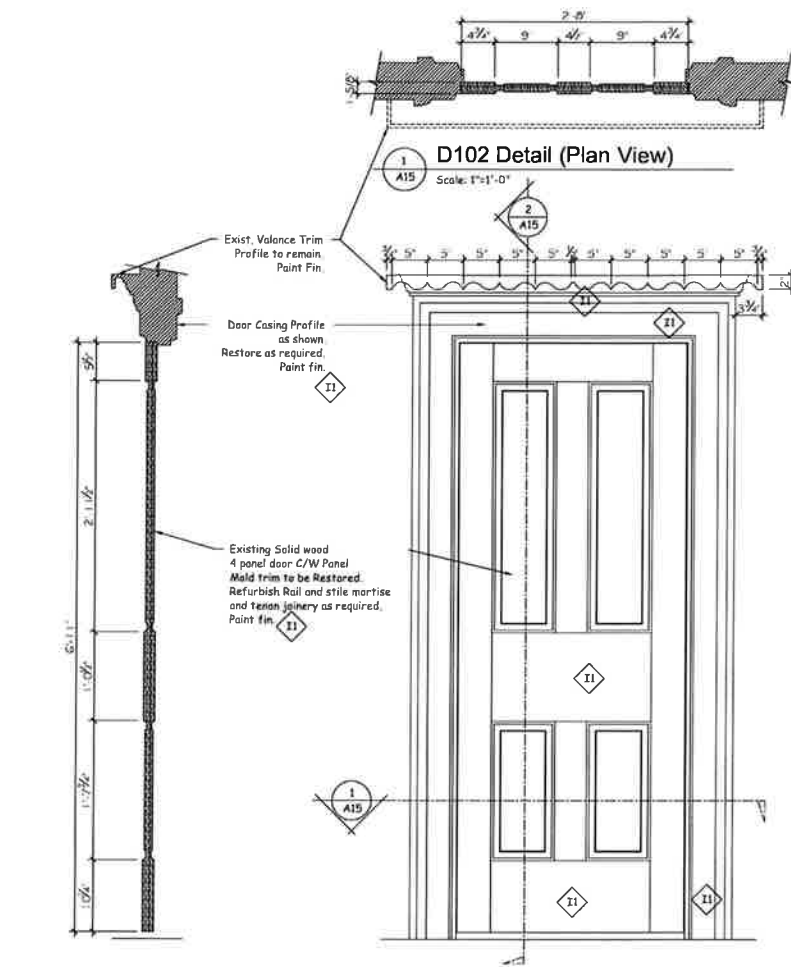
DRAWING TITLE

Building Sections

Scale: 1/4"=1'-0"
Date: July 20, 2017
Job No.
Drawn By: S.R.
Checked By:
DRAWING NO.
A13

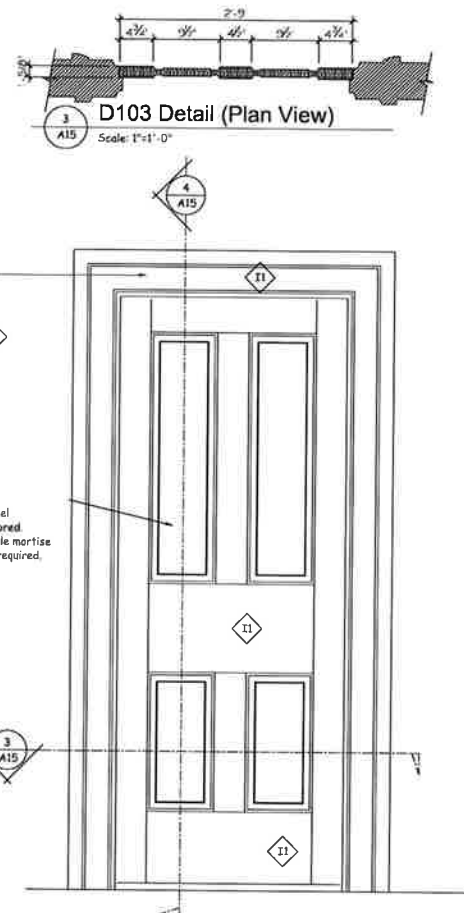


Scale:	$\frac{1}{4}''=1'-0''$	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		



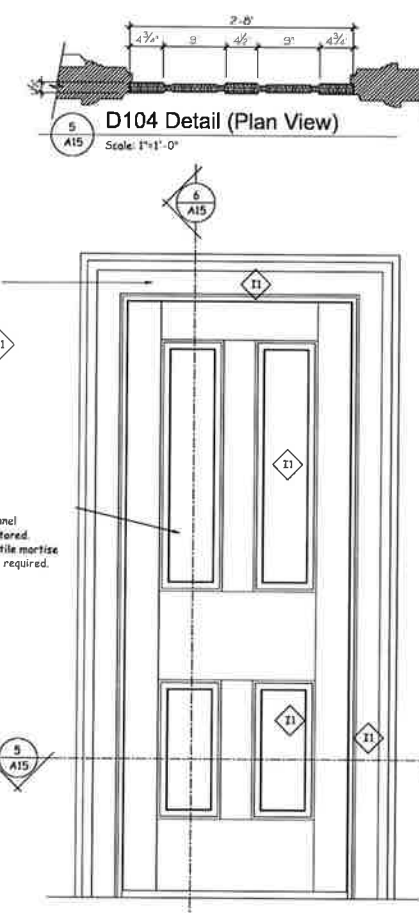
2 D102 Section
A15 Scale: 1"=1'-0"

D102 Detail (Elevations)
A15 Scale: 1"=1'-0"



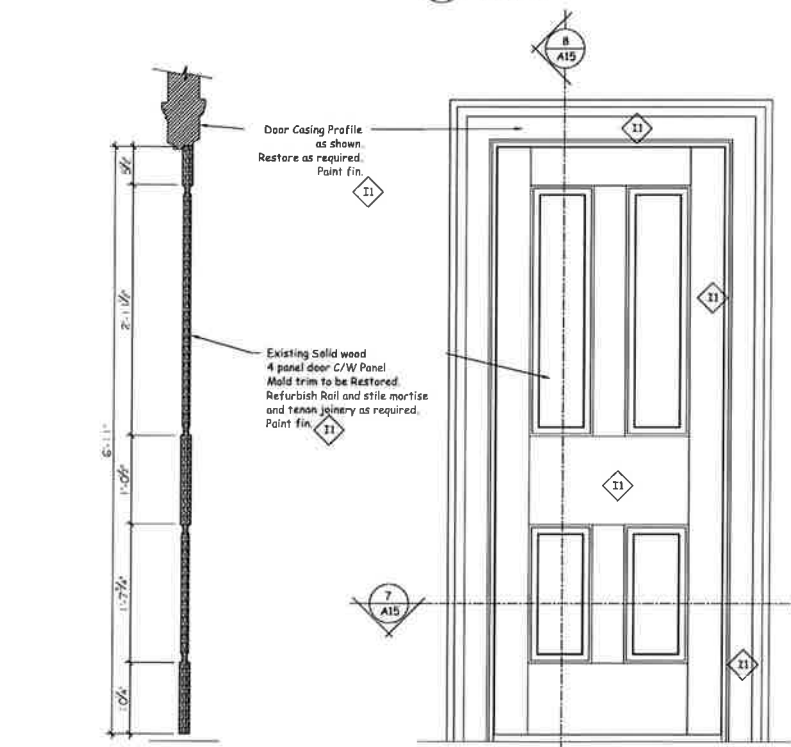
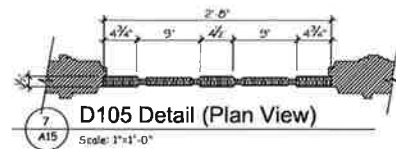
4 D103 Section
A15 Scale: 1"=1'-0"

D103 Detail (Elevations)
A15 Scale: 1"=1'-0"



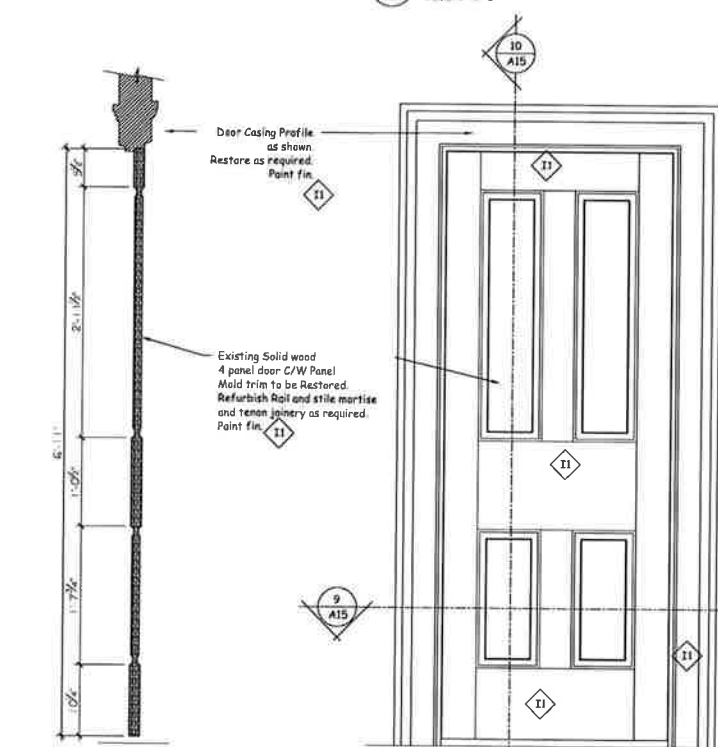
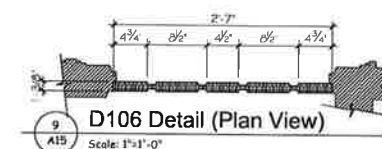
6 D104 Section
A15 Scale: 1"=1'-0"

D104 Detail (Elevations)
A15 Scale: 1"=1'-0"



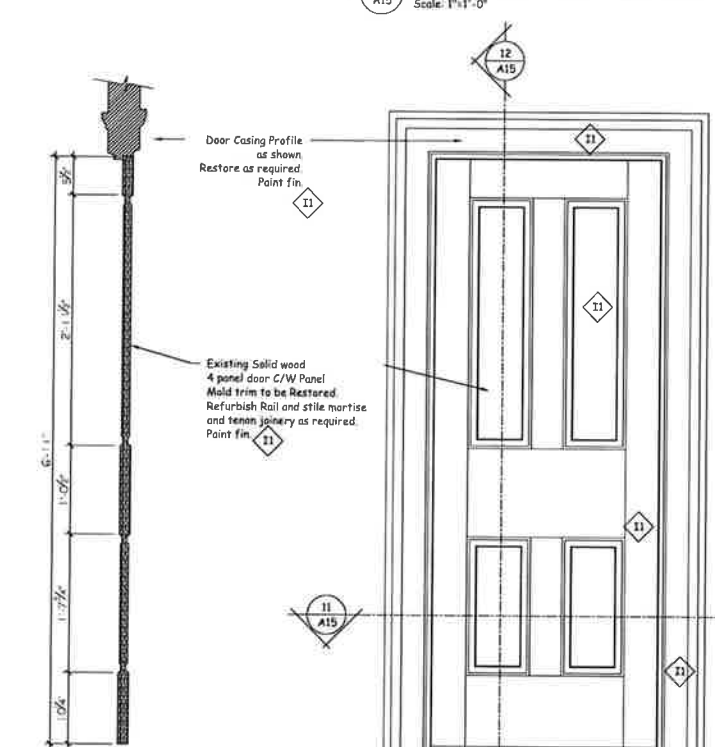
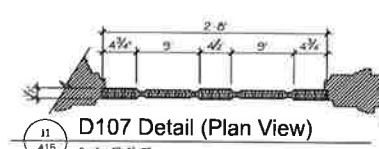
8 D105 Section
A15 Scale: 1"=1'-0"

D105 Detail (Elevations)
A15 Scale: 1"=1'-0"



10 D106 Section
A15 Scale: 1"=1'-0"

D106 Detail (Elevations)
A15 Scale: 1"=1'-0"



12 D107 Section
A15 Scale: 1"=1'-0"

D107 Detail (Elevations)
A15 Scale: 1"=1'-0"

DETAIL
NUMBER
DRAWING
NUMBER

INTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
11	INTERIOR WOODWORK (General Note) Existing Interior woodwork to be restored or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Interior Paint Finish: Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Aurora.

1	Issued for Client Approval	20 / 07 / 2017
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	19924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

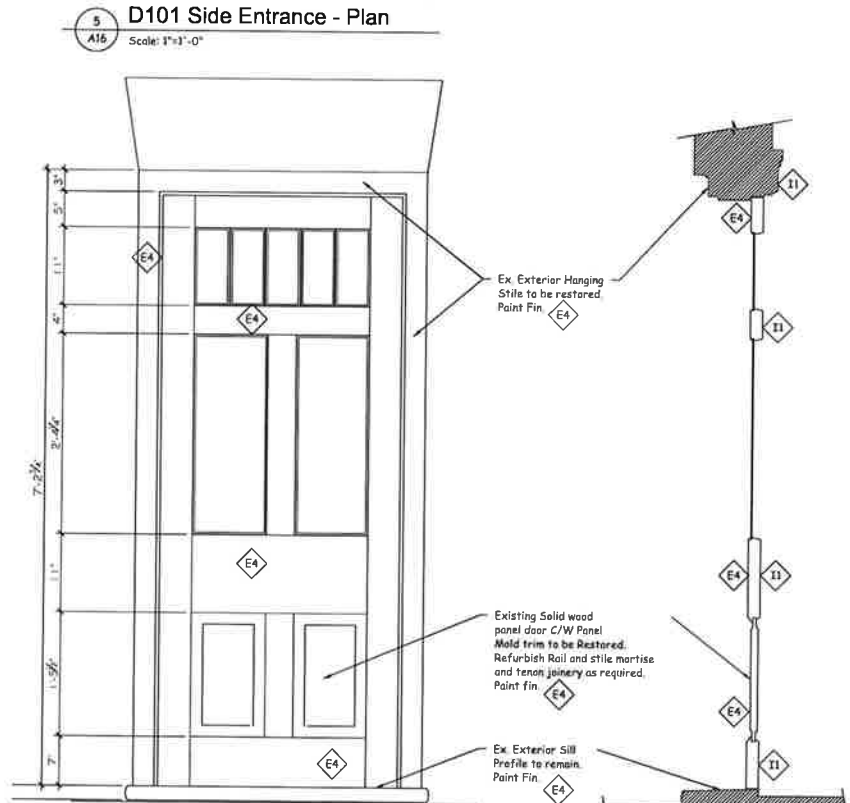
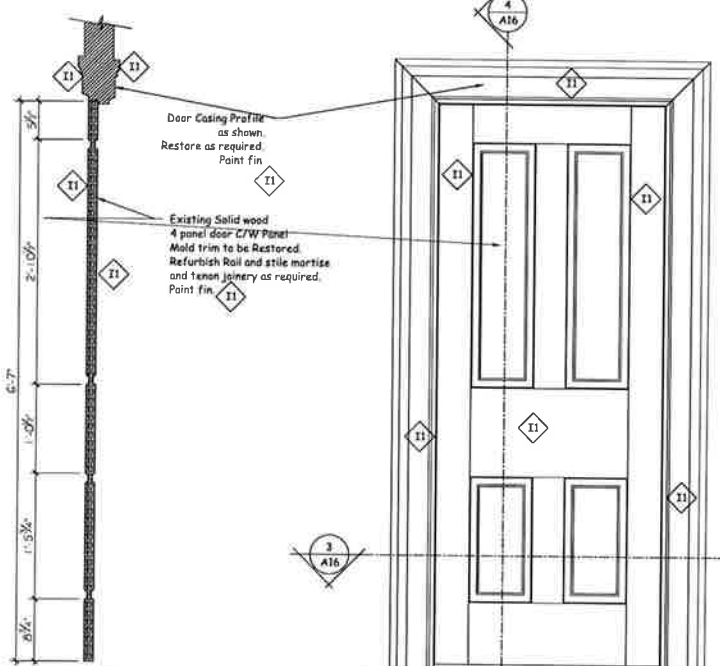
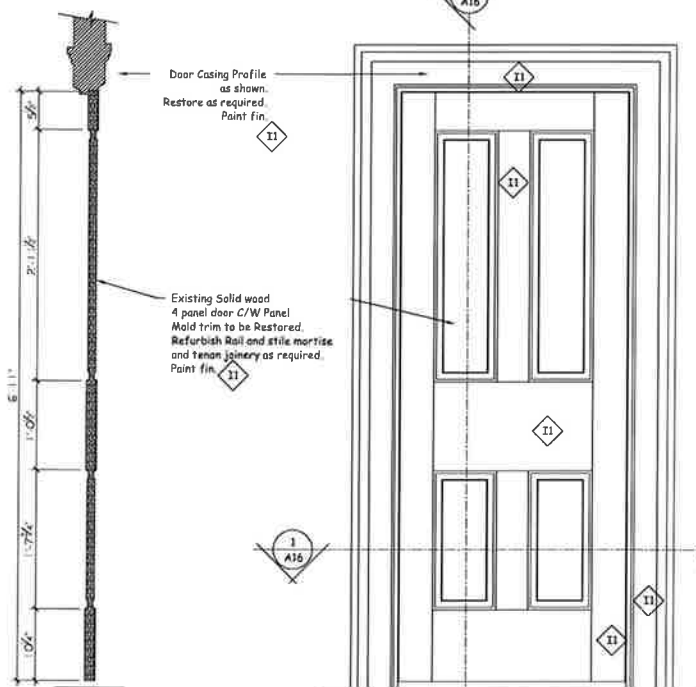
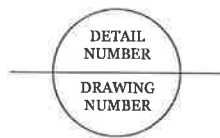
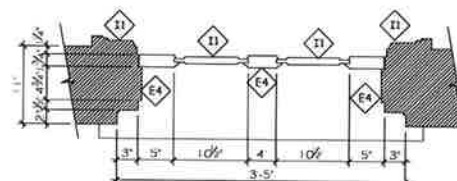
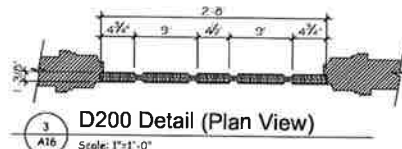
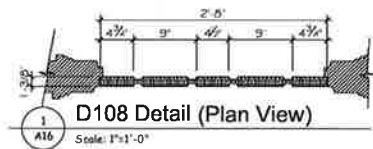
PROJECT

Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

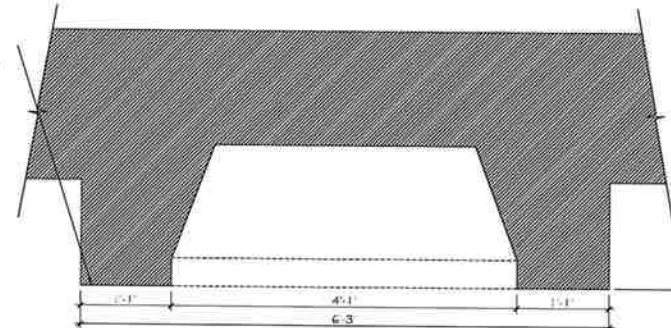
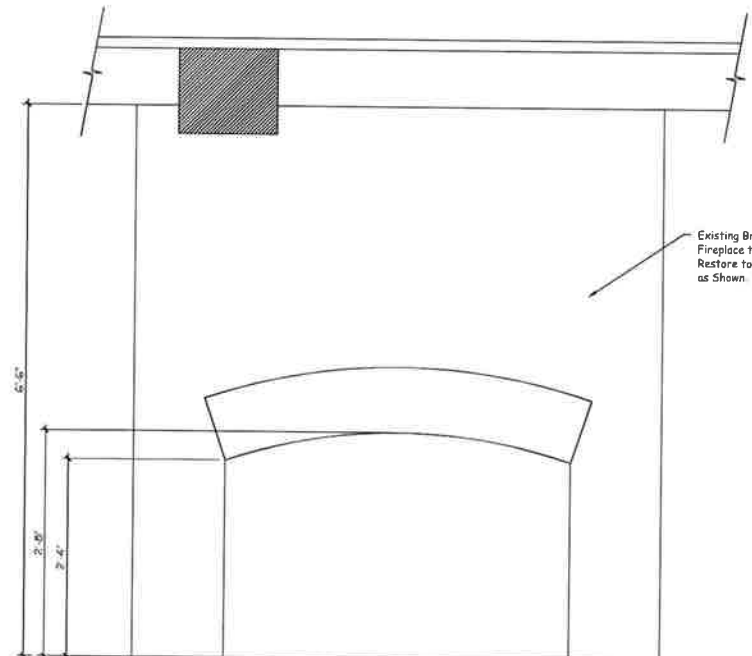
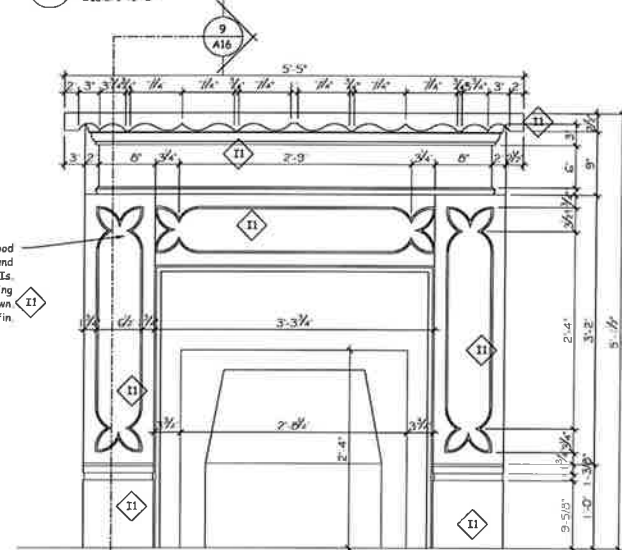
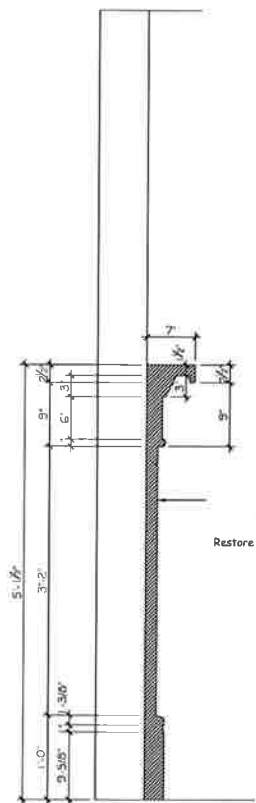
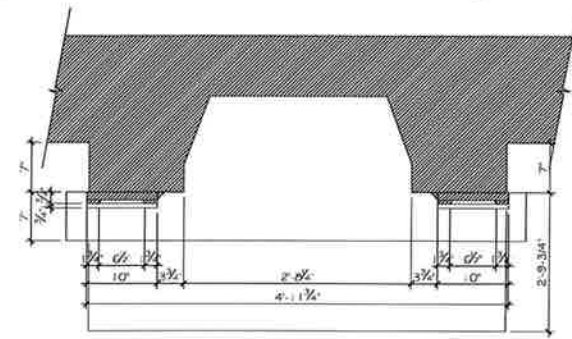
DRAWING TITLE

Interior Door Details

Scale:	1/4"=1'-0"	DRAWING NO.
Date:	July 20, 2017	A15
Job No.		
Drawn By:	S.R.	
Checked By:		



INTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
11	INTERIOR WOODWORK (General Note) Existing interior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed. Interior Paint Finish: Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Aurora.



Issued for Client Approval		
No.	Description	Date
1	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	20 / 07 / 2017

QUALIFICATION INFORMATION	
Scott Rushlow	29/726
NAME	SIGNATURE
BCIN	
REGISTRATION INFORMATION	
Scott Rushlow Associates Ltd	359/24
FIRM	BCIN

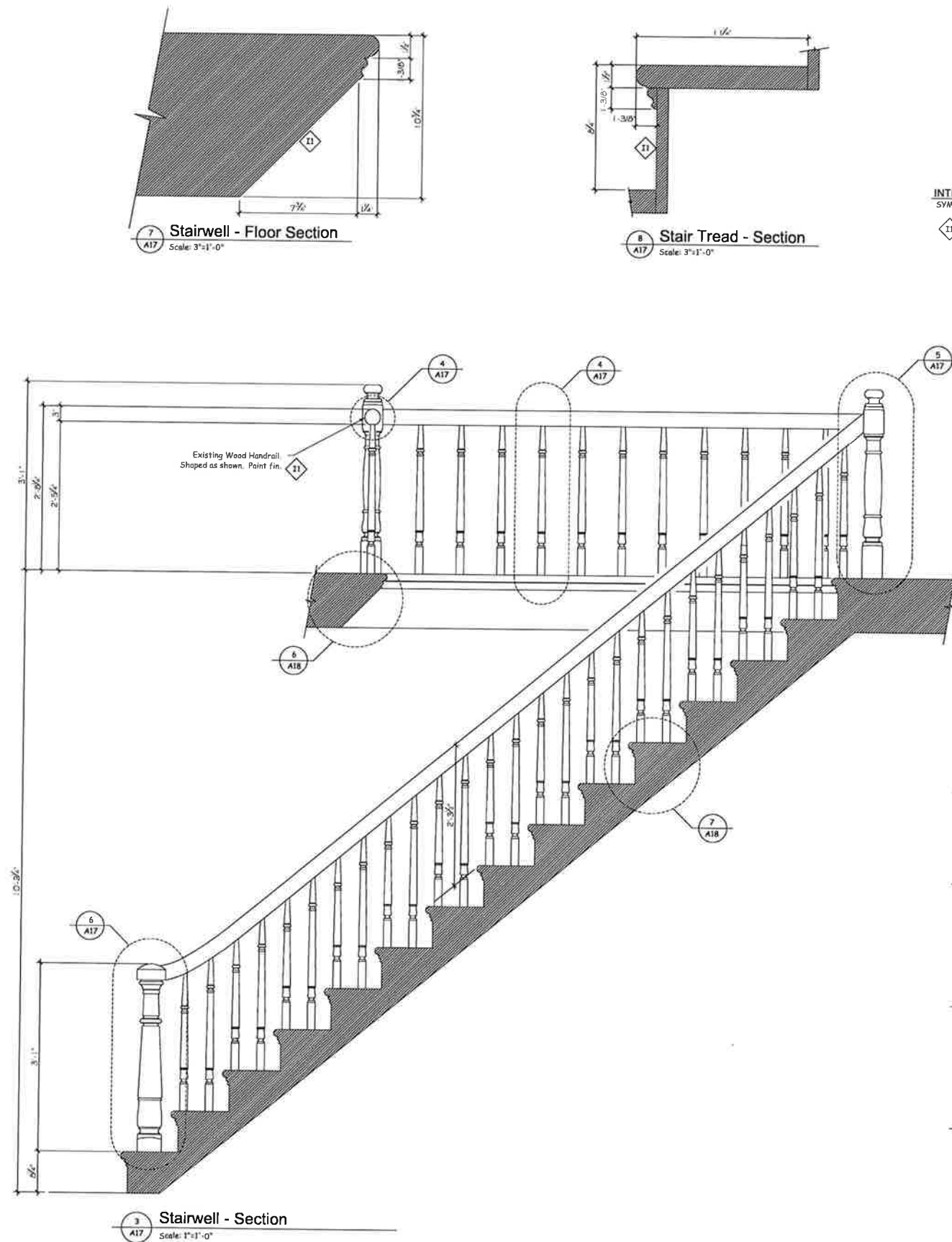
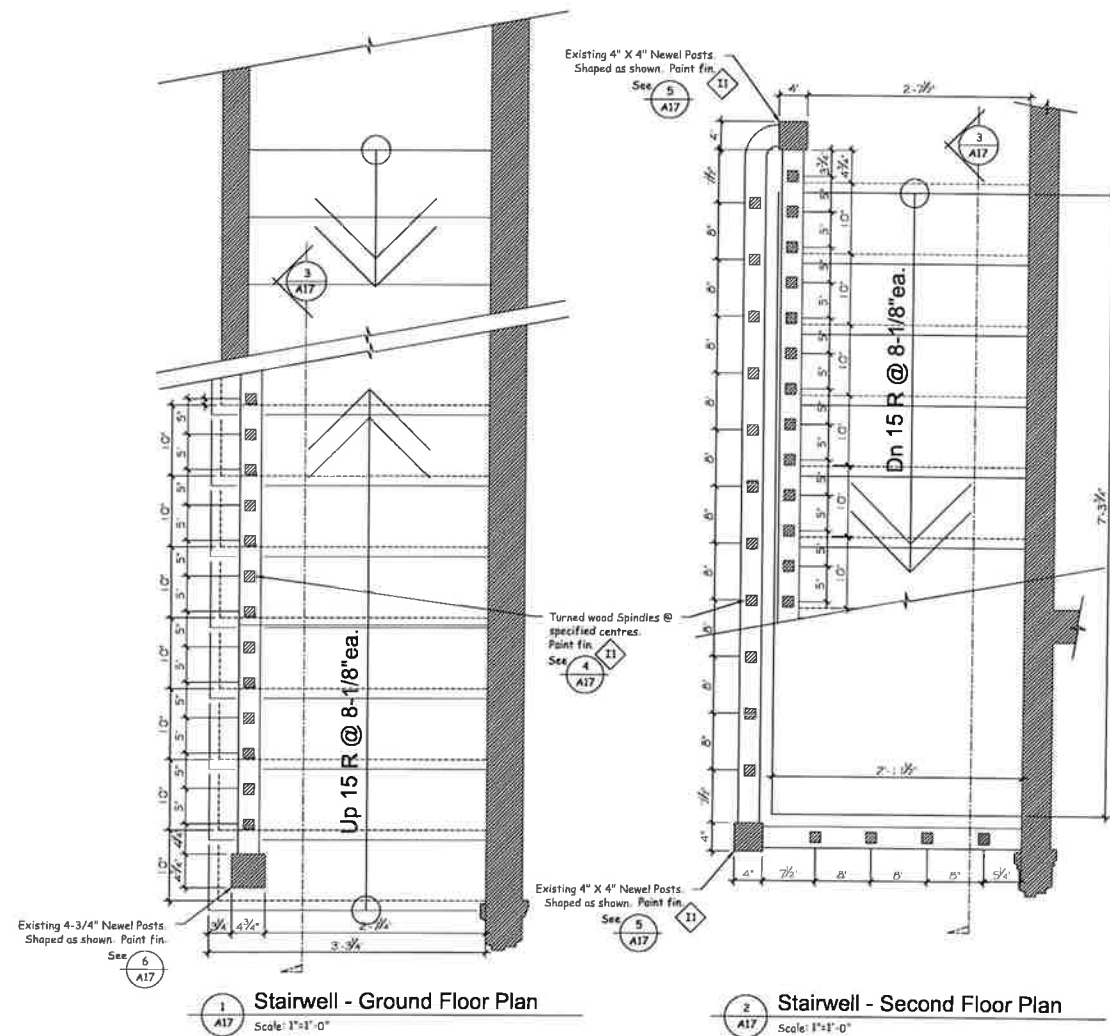
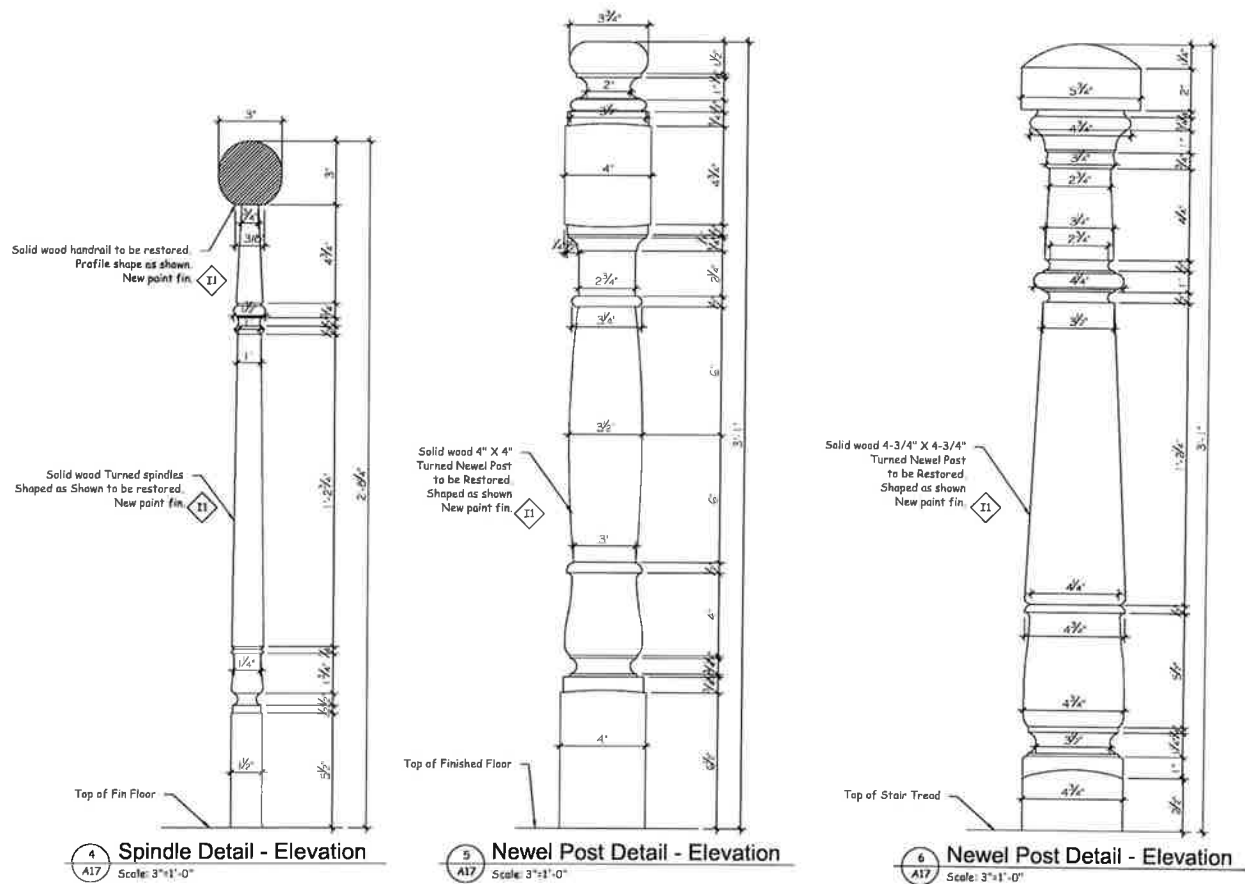
SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT
Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE
Interior Door Details

Scale:	1/4"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

A16



INTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
11	<p>INTERIOR WOODWORK (General Note) Existing interior woodwork to be restored and/or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed.</p> <p>Interior Paint Finish, Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Aurora</p>

1 Issued for Client Approval 20 / 07 / 2017
No. Description Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Scott Rushlow 29726
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Scott Rushlow Associates Ltd 35924
FIRM BCIN

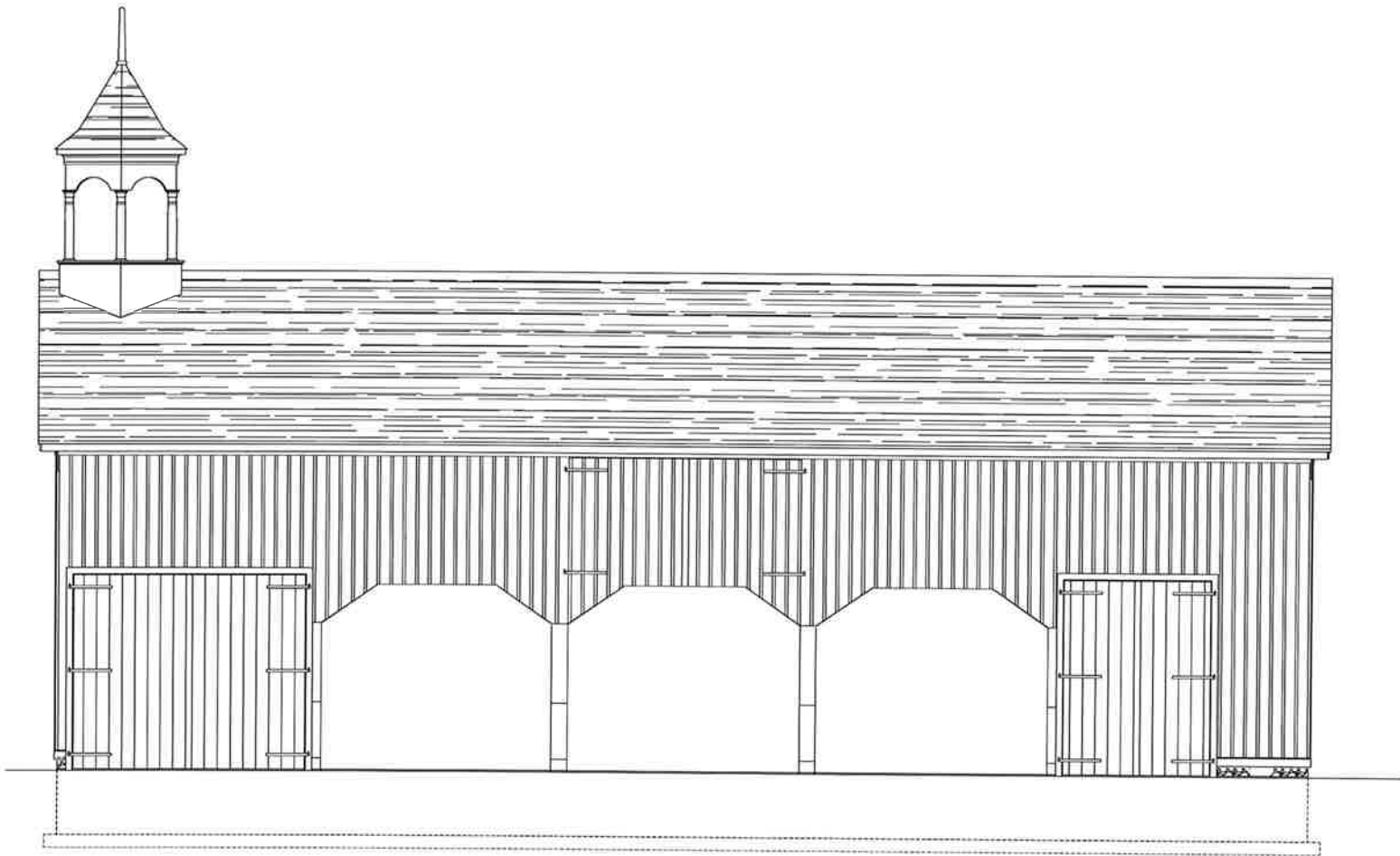
SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Creek Markham ON L6G 0C8 905 852 5595

PROJECT
Jane McCague House
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE
Interior Stair Details

Scale: 1/4"=1'-0" DRAWING NO.
Date: July 20, 2017
Job No.
Drawn By: S.R.
Checked By:

A17



The "Jane McCague House Driveshed" Replication/Restoration Plan

1	Issued for Client Approval	20 / 07 / 2017
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME:	SIGNATURE

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Crrs Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Cover Sheet

Scale:	1/4"=1'-0"	DRAWING NO.
Date:	July 20, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

CONSTRUCTION NOTES (unless otherwise noted)

All construction to comply with these plans and specifications and to the Ontario Building Code (current edition) and all other applicable codes and authorities having jurisdiction. These requirements are to be considered minimum standard.

- 1A
- TRUSS ROOF CONSTRUCTION
- Pre-Finished Aluminum roof sheathing (Install as per manufacturers specifications / as per elevations). 1/2" spruce ply exterior sheathing with "H" clips. Approved pre-engineered wood trusses @ 1'-4" o/c max. (trusses to be installed as per manufacturers specifications) Approved eaves protection to extend 3'-0" from edge of roof and min. 1'-0" beyond inner face of exterior wall. Pre-finished aluminum eaves-through, fascia (as per elevations), vented soffit and RWL. Attic ventilation 1:200 of insulated ceiling with 50% at eaves. Roof insulation min. R-31 batt insulation and approved vapour barrier at sloped ceilings c/w min. 3" air space between u/s deck and top of insulation. Attic insulation R-60 and approved vapour barrier, 5/8" int.drywall finish or approved equal.
- 1B
- CONVENTIONAL ROOF CONSTRUCTION
- Min. No. #300 Asphalt shingles (as per elevations). 1/2" spruce ply exterior sheathing. 2"x4" Spr. Cross Purlins @ 2'-0" O/C. Min. 2" x 10" spruce rafters @ 1'-4" o/c. (see plan for rafter size). Approved eaves protection to extend 3'-0" from edge of roof and min 1'-0" beyond inner face of exterior wall. Pre-finished aluminum eaves-through, fascia (as per elevations), vented soffit, and RWL. Attic ventilation 1:200 of insulated ceiling with 50% at eaves. (pre-finished aluminum ridge vent at sloped ceiling as required). Roof insulation min. R-31 batt insulation and approved vapour barrier at sloped ceilings c/w min. 2.5" air space between u/s deck and top of insulation. 5/8" int drywall finish or approved equal. Horizontal ceiling as required 2" x spruce rafters @ 1'-4" o/c. (see plan for ceiling joist size and connection details). Flat ceiling insulation, min. R-60 batt insulation and approved vapour barrier, 5/8" int.drywall finish or approved equal.
- 2A
- Existing Wall, Floor, Ceiling or Roof structure to remain. Contractor to refurbish existing structural components, as required, to maintain the original performance level. (Modify as per plan)
- 2B
- Existing walls to be removed. Contractor to provide temporary bracing as required prior to demolition
- 2C
- FRAME WALL CONSTRUCTION (2"x6")
- Exterior siding or other as per elevations. (horizontal wood siding c/w 1"x3"vertical spruce strapping @ 1'-4" o/c, vertical wood siding c/w 1"x3" horizontal spruce strapping @ 2'-0" o/c). Typar air barrier or equal c/w pre-finished aluminum drip at siding/foundation wall junction (typ.). 1/2" spruce ply exterior sheathing. 2"x6" spruce studs @ 1'-4" o/c. (provide 2"x6" plates; 2-top, 1 bottom). R-24 batt insulation and approved vapour barrier. 1/2" drywall finish or approved equal. NOTE: For two story volume spaces from 10'-0" to 18'-0" max. high walls provide 2-2"x6" spruce studs @ 1'-4" o/c., c/w 1/2" spruce ply sheathing. Provide 2"x6" solid wood blocking @ 4'-0" o/c vertically. NOTE: Omit 3/4" thick spruce strapping where vinyl siding is used.
- 2D
- FRAME WALL CONSTRUCTION (2"x4")
- Exterior siding or other as per elevations. (horizontal wood siding c/w 1"x3"vertical spruce strapping @ 1'-4" o/c, vertical wood siding c/w 1"x3" horizontal spruce strapping @ 2'-0" o/c). Approved sheathing paper c/w pre-finished aluminum drip at siding/foundation wall junction. 1/2" spruce ply exterior sheathing. 2"x4" spruce studs @ 1'-4" o/c. (provide 2"x4" plates; 2-top, 1 bottom).
- 2E
- 4" MASONRY VENEER CONSTRUCTION (2"x6")
- 4" masonry veneer (as per elevations). 1" air space. 7/8"x7"x0.03" galvanized metal ties @ 1'-4" o/c horizontal and 2'-0" o/c vertical. Typar air barrier c/w bottom course flashing up min 6" behind air barrier. Provide weep holes @ 2'-8" o/c bottom course and over openings. 1/2" spruce ply exterior sheathing. 2"x6" spruce studs @ 1'-4" o/c.

- 2F
- 4" MASONRY VENEER CONSTRUCTION (2"x4")
- 4" masonry veneer (as per elevations). 1" air space. 7/8"x7"x0.03" galvanized metal ties @ 1'-4" o/c horizontal and 2'-0" o/c vertical. Approved sheathing paper c/w bottom course flashing up min. 6" behind sheathing paper. Provide weep holes @ 2'-8" o/c bottom course and over openings. 1/2" spruce ply exterior sheathing. 2"x4" spruce studs @ 1'-4" o/c. (provide 2"x4" plates; 2-top, 1 bottom).
- 3A
- INTERIOR STUD BEARING PARTITIONS
- For bearing partitions 2"x4" spruce studs @ 1'-4" o/c for 2 storeys and 1'-0" o/c for 3 storeys. (provide 2"x4" plates; 2-top, 1-bottom, c/w 2"x4" spruce blocking @ 4'-0" o/c horizontal). 1/2" drywall finish each side. NOTE: 2"x6" spruce studs @ 1'-4" o/c partitions where noted on plan.
- 3B
- INTERIOR STUD NON-BEARING PARTITIONS
- 2"x4" spruce studs @ 1'-4" o/c. c/w 1/2" drywall finish each side. Provide 2"x6" studs @ 1'-4" o/c. c/w 1/2" drywall finish each side where noted plan. (for all partitions provide full width plates; 2-top, 1-bottom).
- 4A
- FOUNDATION WALL/FOOTING CONSTRUCTION (see O.B.C. 9.15.3, and 9.15.4)
- Approved continous drainage layer. Bitumen damproofing. Continous poured concrete foundation wall (25Mpa) c/w Steel reinforcing as per note. (foundation plan for wall thickness). #15 felt building paper moisture barrier. 2"x4" spruce studs @ 1'-4" o/c floor to ceiling (bottom plate c/w damproofing material). R-14 batt insulation c/w approved poly vapour barrier. 2"x6" sill plate c/w 1/2" dia. x 8" long. Anchor bolts @ min 7'-10" o/c (foam gasket or caulking between sill plate and top of foundation wall. Use non-shrink grout to level sill plate when required). 8" thick continous strip, keyed concrete footing set on natural undisturbed soil or compacted engineered fill with min bearing capacity of 3000 psf. or greater. (see foundation plan for footing width). Footings c/w 2-15mm bar set in line with outside face of foundation wall above and up 2" from u/s of footing. 4" dia weeping tile set in min 8" layer crushed drain rock over and around weeping tile. NOTE: Foundation wall c/w 15mm bar @ 1'-4" o/c ea. way.
- 4B
- FOUNDATION WALL/FOOTING CONSTRUCTION (see O.B.C. 9.15.3, and 9.15.4)
- Continous poured concrete foundation wall (32Mpa/with fibre) c/w Steel Reinforcing as per note. (see foundation plan for wall thickness). Granular fill as required on both sides of foundation wall, compacted as required. 8" thick continous strip concrete footing set on natural undisturbed soil or compacted engineered fill with min. bearing capacity of 3000 psf. or greater. (see foundation plan for footing width). Footing c/w 2-15 mm bar set in line with outside face of foundation wall above and up 2" from u/s of footing. Note: Foundation wall c/w 15m bar @ 1'-0" o/c ea. way.
- 4C
- BEAM POCKET or 12"x8" poured concrete nh walls. Min 3/8" end bearing
- 4D
- STEP FOOTING CONSTRUCTION (see O.B.C. 9.15.3.8)
- Min horizontal step 2'-0". Max. vertical step 2'-0" for still soil and 1'-4" for sand and gravel.
- 4E
- INTERIOR WOOD FRAMED BEARING WALLS AT FOUNDATION
- 2"x6" spruce studs @ 1'-4" o/c. (provide 2"x6" plates; 2-top, 1-bottom. 2"x6" spruce blocking @ 4'-0" o/c horizontal). Stud wall set on 1 course 6" thick unit block masonry c/w 1/2" dia. x 8" long anchor bolts @ min 7'-10" o/c max. (Damproofing material between masonry and bottom plate. Fill block cavities with concrete). 8" thick x 1'-10" wide continous strip concrete concrete footing set on natural undisturbed or compacted engineered fill with min. bearing capacity of 3000 psf. Footing c/w 2-10mm bar set in line with outside face of block above abd up 2" from u/s footing.

- 4F
- 1"x3" spruce strapping on both sides of steel beam.
- 5A
- SUBFLOOR, JOISTS, STRAPPING AND BRIDGING
- Min. 3/4" T&G spruce ply subfloor. 2" x spruce floor joists as required. (see plan for joist size and spacing). NOTE: For pre-engineered joist systems install as per manufacturers specifications). Solid bridging @ 4'-0" o/c max. All joists to be strapped with 1"x3" spruce @ 6'-11" o/c. unless a panel type ceiling finish is applied, install approved metal joist hangers as required. See Plan for SB-3 fire separation assembly Requirements . Absorbitive material to be 3.5" thick rock slag mineral wool.
- 5B
- Exposed floor to exterior provide R-31 batt insulation and approved vapour barrier. Continous air barrier, pre-finished aluminum soffit, unless otherwise noted on plan.
- 6A
- BASEMENT SLAB (see O.B.C. 9.16)
- 4" 25 Mpa concrete slab on min. 4" thick layer course clean granular fill. Granular fill beneath this layer must be well compacted.
- 6B
- GARAGE, EXTERIOR SLABS
- 6" (32Mpa / with fibre) concrete slab with 5-8% air entrainment on 6" thick layer 3/4" clear washed stone. Slab reinforced with 15mm bar @ 1'-0" Ea. way placed at mid-depth of slab. Compacted native sub-base. Slope slab as shown.
- 6C
- COLD CELLAR PORCH SLAB
- For max. 9'-0" porch depth 5" 32Mpa concrete slab with 5-8% air entrainment. Reinforced with 15mm bars @ 1'-0" ea. way in bottom third of slab. 2'-0" x 2'-0" dowels @ 2'-0" o/c anchored in perimeter foundation walls. Sloped slab min. 1% to exterior
- 7
- ALL STAIRS/EXTERIOR STAIRS (see O.B.C. 9.8)
- Max. rise 7'-7/8", Min. run 8'-1/4", Min. tread 9'-1/4". Max. nosing 1". Min. headroom 6'-5". Rail @ landing 2'-11", Rail @ stair 2'-8". Min. stair width 2'-10". FOR CURVED STAIRS: Min. run 6". Min. average run 8". HANDRAILS AND GUARDS: Provide pickets spaced 4" max. between pickets. Interior guards up 2'-11" min. Exterior guards up 2'-11" min. Above 5'-11" above ground level guards to be up 3'-6" min.
- 8
- 5/8" gypsum drywall on wall and ceiling between house and garage. R-24 insulation in walls, R-31 in ceiling. Tape and seal all joints gas tight.
- 9
- Door and frame gas-proofed. Door equiped with self closing device and weather stripping
- 10
- Precast concrete step or pressure treated wood step. Max rise 7'-7/8", Min tread 9'-1/4", (typ.)
- 11
- Capped dryer exhaust vented to exterior
- 12
- Attic access hatch 1'-8" x 2'-4" with weather stripping. R-24 rigid insulation backing
- 13
- FIREPLACE AND CHIMNEY CONSTRUCTION (see O.B.C. 9.21, and 9.22.)
- Top of fireplace chimney shall be 3'-0" above the highest point at which it comes in contact with the roof and 2'-0" above the roof surface within a horizontal distance of 10'-0" from the chimney.
- 14
- Linen closet, 4 shelves min. 14" deep.

- 15
- Mechanical exhaust fan, vented to exterior, to provide 1 air change per hour.
- 16
- EXPOSED BUILDING FACE (see O.B.C. 9.10.14)
- Exterior walls to have a fire resistance rating of not less than 45 min. where limiting distance less than 3'-11". Where the limiting distance is less than 1'-11" the exposing face shall be clad in non-combustable material. Max. percentage of unprotected openings as per Table O.B.C. 9.10.14.A.
- 17
- SMOKE ALARM (see O.B.C. 9.10.19.3)
- All required smoke alarm and visual devices to be installed as per O.B.C. 9.10.19.3. Install minimum 1 alarm and visual device on each story including basements and 1 alarm and visual device per sleeping area plus minimum 1 alarm and visual device per hallway servicing sleeping areas. Alarms to be connected to an electric circuit and interconnected to activate all alarms if 1 sounds.
- 18
- CARBON MONOXIDE DETECTOR (see O.B.C. 9.33.4)
- All carbon monoxide detector alarm requirements to be installed as per O.B.C. 9.33.4. Carbon monoxide detector alarms to be connected to an electric circuit and interconnected to activate all alarms if 1 sounds.
- 19
- MAIN BATH SOLID BLOCKING REQUIREMENT (see O.B.C. 9.5.2.3)
- Provide Solid wood blocking to accomodate future W/C and Shower support bars as per O.B.C. 9.5.2.3. For W/C grab bar blocking install as per O.B.C. 3.8.3.8(1) (d). For Shower grab bar blocking install as per O.B.C. 3.8.3.13. (1) (f)
- 20
- REQUIRED EXIT SIGNS (see O.B.C. 9.9.10.)
- 21
- LIGHTING (see O.B.C. 9.9.11.)

WINDOWS:

- 1) MINIMUM BEDROOM WINDOW (see O.B.C. 9.7.1.3) At least one bedroom window on a given floor is to have a min. 0.35m² unobstructed glazed or openable area with min. clear width 1'-3"
- 2) WINDOW GUARDS (see O.B.C. 9.7.1.6. and 9.8.8.)
A guard or a window with a maximum restricted opening width of 4" is required where the top of the window sill is located less than 1'-6" above fin. floor and the distance from the fin. floor to the adjacent grade is greater than 1'-11".
- 3) WINDOW IN EXIT STAIRWAYS (see O.B.C. 9.7.5.2.)
Windows in exit stairways that extend to less than 3'-6" above the landing shall be protected by barriers or railings located 3'-6" above such landings.

Mechanical ventilation is required to provide 0.3 air changes per hour averaged over 24 hours. See Mechanical drawings for all Heating, Ventilation, and Air-conditioning requirements

All roof overhangs to be 1'-4" unless otherwise noted on EXTERIOR ELEVATIONS

AREA CALCULATIONS:

Ground Floor Area:	1,101.45ft ²	COVERAGE w/o verandah(s):	
Second Floor Area:	1,093.85ft ²	COVERAGE w/ verandah(s):	
Third Floor Area:	432.50ft ²	Total Building Area:	
Covered Verandah Area:	38.38ft ²	Lot Area:	
Deduct all open areas:	N/A	% Lot Coverage:	
Finished Basement Area:	N/A	OFFICE SUITE AREA:	1,029.38 ft ²
TOTAL NET AREA:	2,686.18ft ²	RESIDENTIAL SUITE AREA:	1,598.41 ft ²

GENERAL NOTES

CONTRACTOR MUST VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND JOB SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SCOTT RUSHLOW ASSOCIATES LTD.

LUMBER:

- All lumber shall be spruce no.2 grade or better, unless otherwise noted.
- Studs shall be stud grade spruce, unless otherwise noted
- Lumber exposed to the exterior to be spruce no.2 or better, pressure treated or cedar, unless otherwise noted
- All laminated veneer lumber (L.V.L.) beams, girder trusses, and metal hanger connections supporting roof framing to be designed and certified by truss manufacturer.
- All L.V.L. beams shall be 2.0E WS Micro-lam L.V.L. (Pb>2800psi. min.) or better by TRUS JOIST MacMILLAN. Built-up L.V.L. beams to be connected as per manufacturers specifications. T.J.L. joists shall dense wood "T" joists manufactured by TRUS JOIST MacMILLAN. L.V.L. beams and T.J.L. joist framed to the side of another wood member shall be supported by approved metal hangers.
- Wood framing not treated with a wood preservative, in contact with concrete shall be separated from the concrete by at least 2mil. Polyethylene film or other damproofing material, except where the wood member is at least 6" above the ground.
- All timels to be 2-2"x10" spruce c/w 2-2"x6" spruce posts each end unless otherwise noted on plan
- All Timber Frame structure including: columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the province of Ontario prior to fabrication and erection of the timber frame.

STRUCTURAL STEEL:

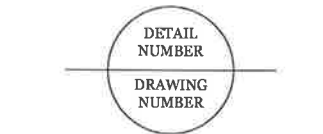
- All structural steel shall be fabricated and erected to the requirements of CSA Standard CAN3-S16.1-M84
- All structural steel shall be CSA G40.21-M-300 and 350W for H.S.S. Class II.
- Welding shall conform to the requirements of CSA-W59, and shall be undertaken by a fabricator approved by the Canadian Welding Bureau to the requirements of W47 Canadian Welding Standard.

CONCRETE:

- Cast in place concrete construction shall conform to the requirements of CSA Standard CAN3-A23.1-M84
- All concrete shall have a minimum compressive strength of 25 Mpa at 28 days unless otherwise noted on plan.
- Provide 5-8% air entrainment for all concrete exposed to exterior.
- All reinforcing steel to be deformed bars conforming to CSA G30.12-M Grade 400.
- Cold weather concrete construction shall conform to CSA Standard CSA-A23.1-M84. Provide temporary enclosure and heating as required.

MASONARY:

- Masonry construction shall conform to CSA Standard CAN3-A371-M84.
- All plain and reinforced masonry shall conform to CAN3-A165 Series-M85 for concrete masonry units, and CAN/CSA-A82.1-M87 for burned clay brick units
- All concrete blocks shall have a minimum ultimate compressive strength of 22 Mpa on net area.
- Mortar for all masonry walls shall be "Type "S" as defined in CSA Standard A179-M1976.
- Concrete block wall shall be reinforced horizontally with Standard Blok-Lok @ 1'-4" o/c vertically as per manufacturers specifications
- Reinforced masonry shall be grouted with 20Mpa concrete, 3/8" aggregate (per gravel) and 8" slump



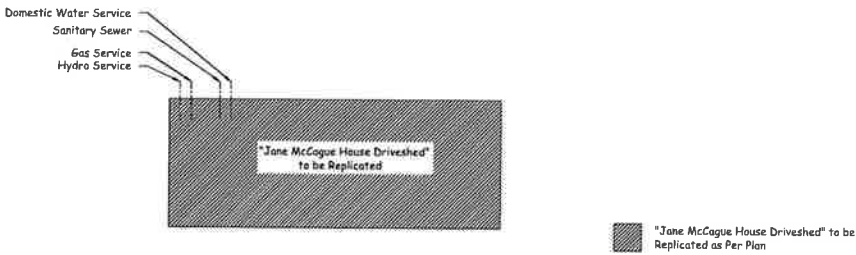
	DRAWING SCHEDULE
Notes	Construction Notes/Drawing Schedule
A1	Exterior Elevations
A2	Exterior Details
A3	Exterior Details
A4	Exterior Details
A5	Foundation Plan / Ground Floor Plan
A6	Second Floor Plan / Roof Framing Plan
A7	Building Sections
A8	Building Sections
A9	Building Details
A10	

The "Jane McCague House Driveshed" Conservation Plan Synopsis

The "Jane McCague House Driveshed" Conservation Plan has been prepared in observance of the findings of the Cultural Heritage Impact Assessment Report drafted by Wayne Morgan, December 2015. Article "6.4 Statement of Cultural Heritage Value" of the CHIA identifies the following heritage attributes worthy of conservation and or replication as required including:

- the rectangular plan of the building with its ground floor openings on the north elevation and symmetrically arranged openings on the gable ends;
- the gable roof;
- the belfry with its turned posts, conical roof and finial;
- the timber construction of the building;
- the board and batten siding;
- the sash in the window openings; and
- the board door on the west opening on the north elevation.

This Conservation Plan identifies and documents the above named original features and provides guidance for their replication.



Conservation Work Reference Plan

Scale: 1:200

Issued for Client Approval 27 / 11 / 2018		
No.	Description	Date
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		
QUALIFICATION INFORMATION		
Scott Rushlow		29726
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Scott Rushlow Associates Ltd		35924
FIRM		BCIN
SCOTT RUSHLOW associates Ltd		
111-111 Upper Duke Creek Markham ON L6G 0C8 905 859 5595		

PROJECT

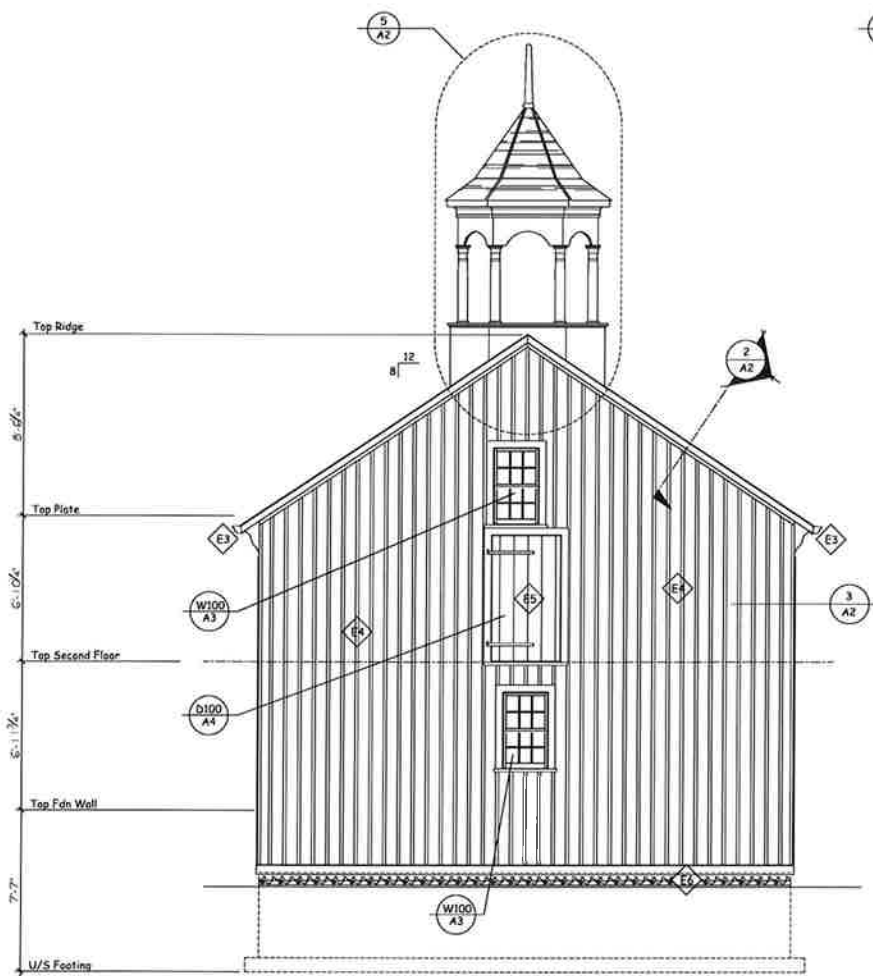
Jane McCague Driveshed

C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

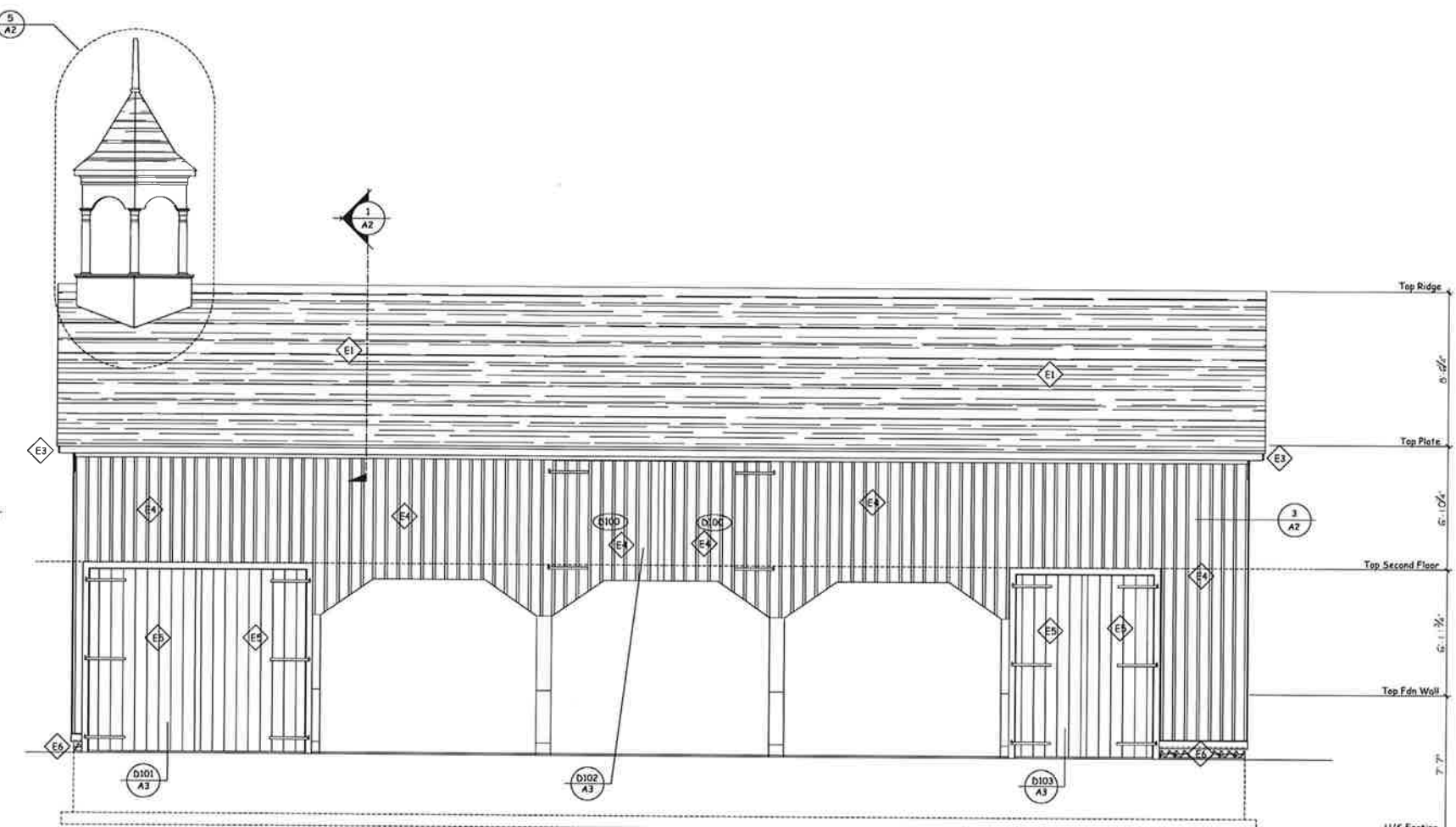
DRAWING TITLE

Drawing Schedule
Construction Notes
Plot Plan

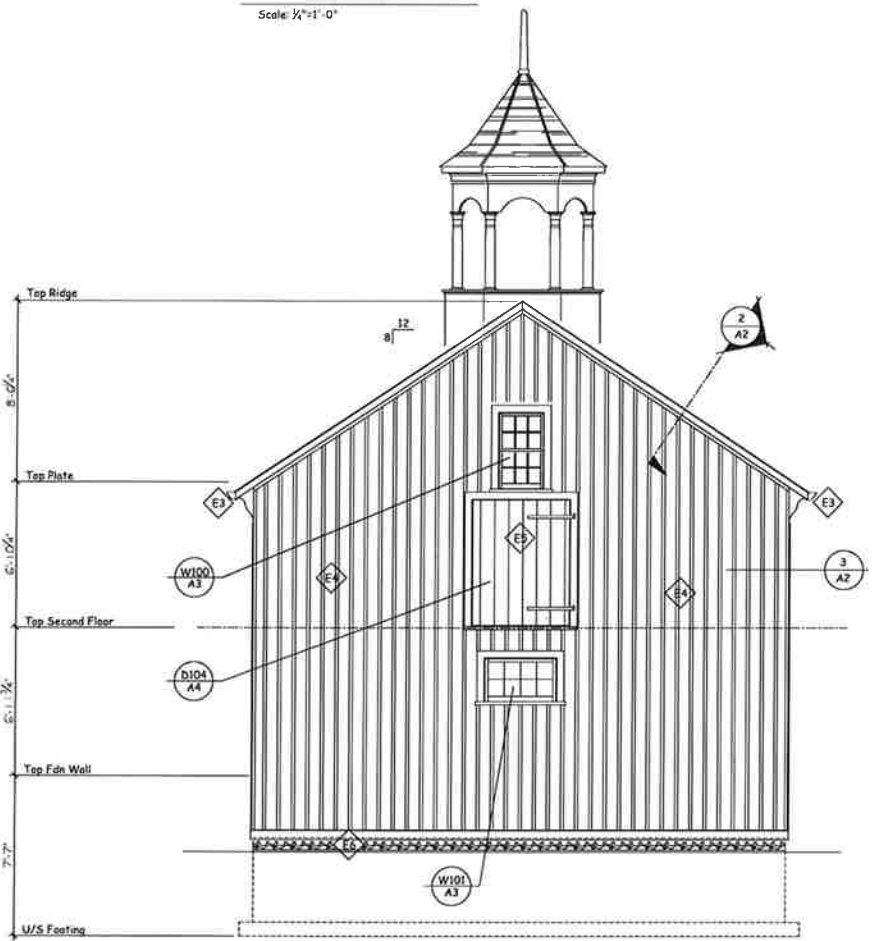
DRAWING NO.		Notes
Scale:	As Noted	
Date:	Nov. 27, 2018	
Job No.		
Drawn By:	S.R.	
Checked By:		



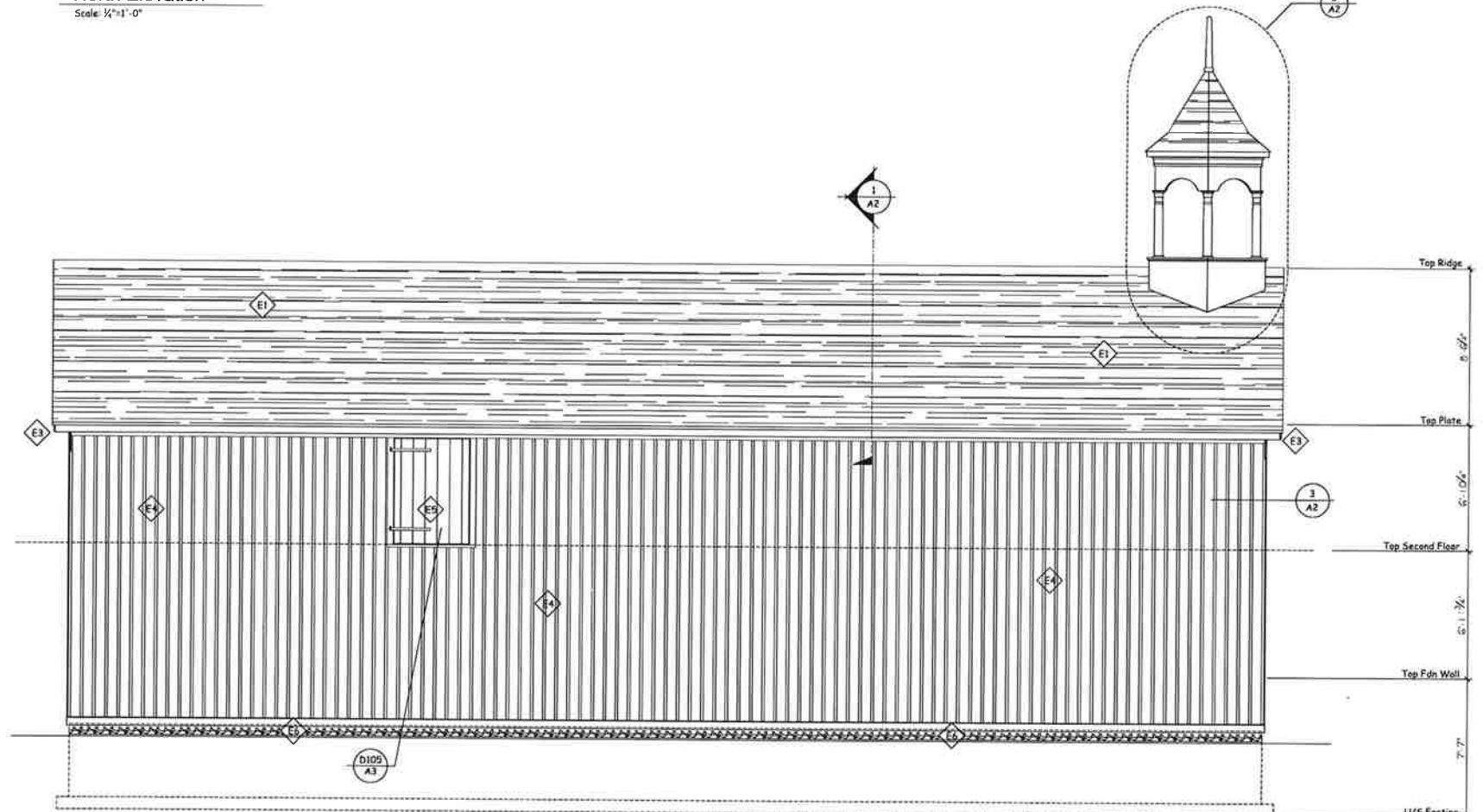
East Elevation
Scale: 1/4"=1'-0"



North Elevation
Scale: 1/4"=1'-0"



West Elevation
Scale: 1/4"=1'-0"



South Elevation
Scale: 1/4"=1'-0"

DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-Fin Flashings, Trims and Fittings as Req'd
E2	New Pre-Fin alum Eaves trough C/W all Pre-Fin Trims and Fittings as Req'd
E3	Exterior Paint Finish. Point 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E4	New vertical Board and Batten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E5	New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E6	New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.

Issued for Client Approval 27 / 11 / 2018
No. Description Date

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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Scott Rushlow Associates Ltd 35924
FIRM BCIN

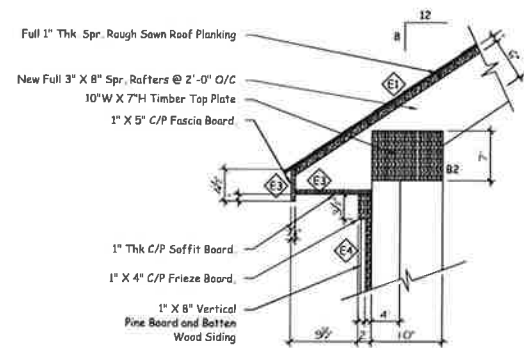
SCOTT RUSHLOW
associates Ltd
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PROJECT
Jane McCague Driveshed
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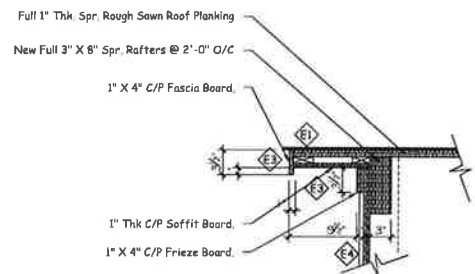
DRAWING TITLE
Exterior Elevations

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

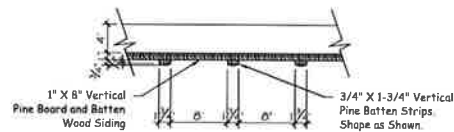
A1



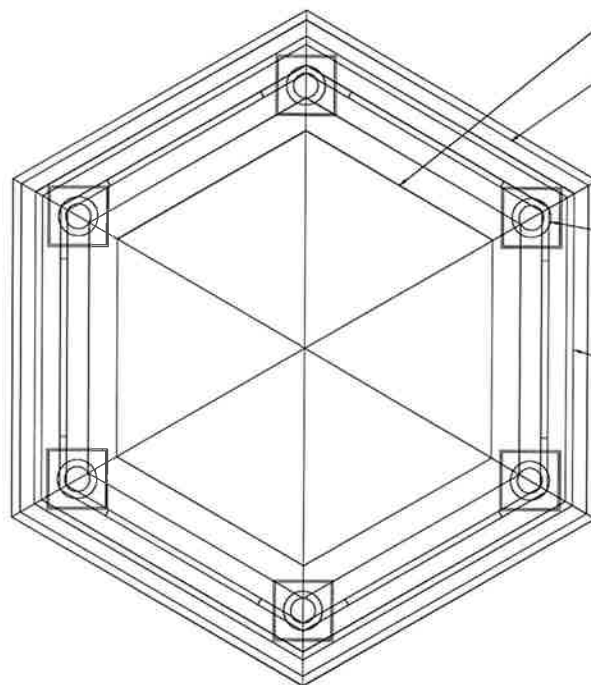
1
A2
Fascia / Soffit Detail - New
Scale: 1"=1'-0"



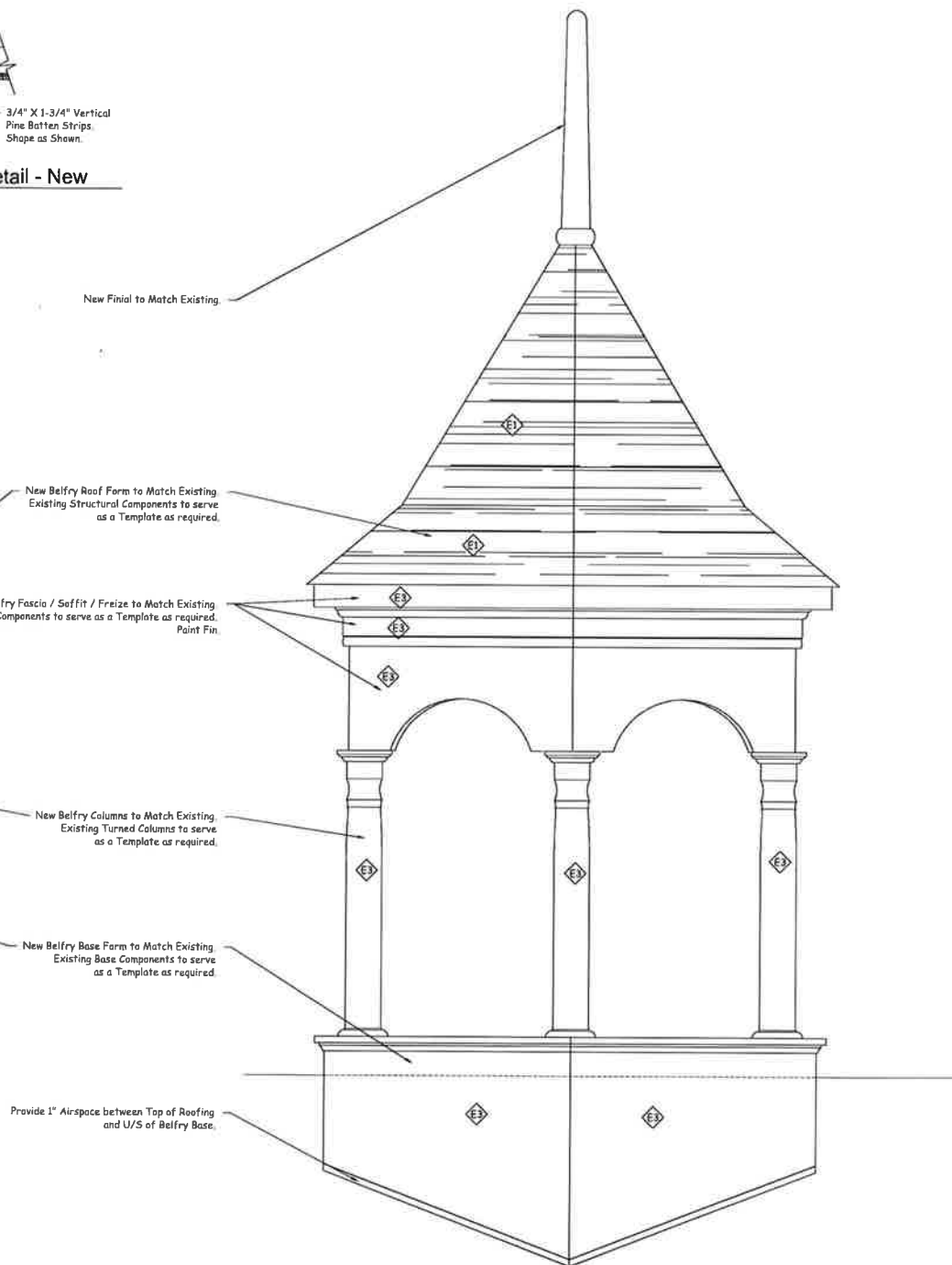
2
A2
Fascia / Soffit Detail - New
Scale: 1"=1'-0"



3
A2
Board / Batten Detail - New
Scale: 1"=1'-0"



4
A2
Belfry - Plan - New
Scale: 1"=1'-0"



5
A2
Belfry - Elevation - New
Scale: 1"=1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E3	Exterior Paint Finish. Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E4	New vertical Board and Batten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E5	New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E6	New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.

1 Issued for Client Approval 27 / 11 / 2018

No.	Description	Date
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres. Markham, ON L6G 0C8 905.852.5595

PROJECT

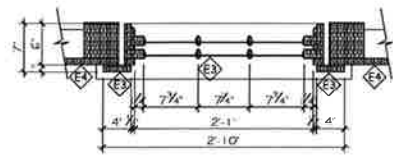
Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

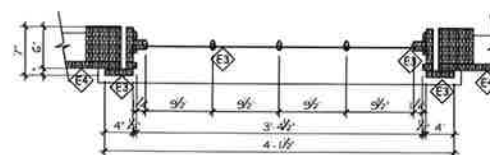
Exterior Details

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

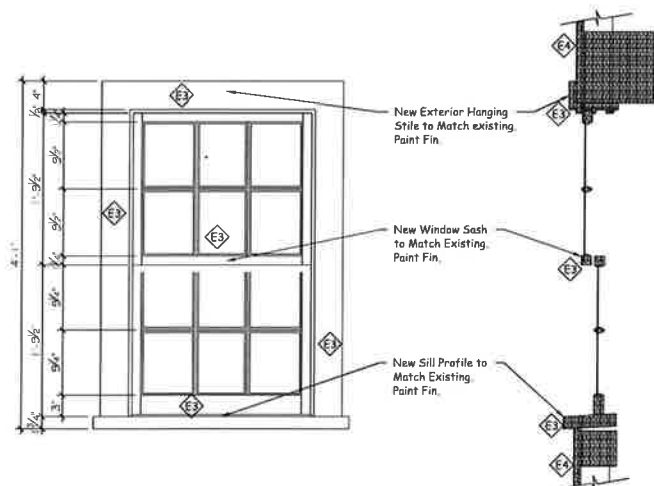
A2



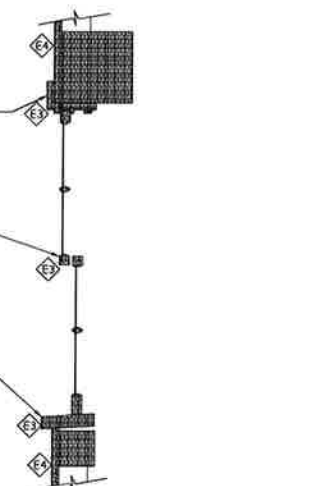
W100 - Plan - New
Scale: 1/4"=1'-0"



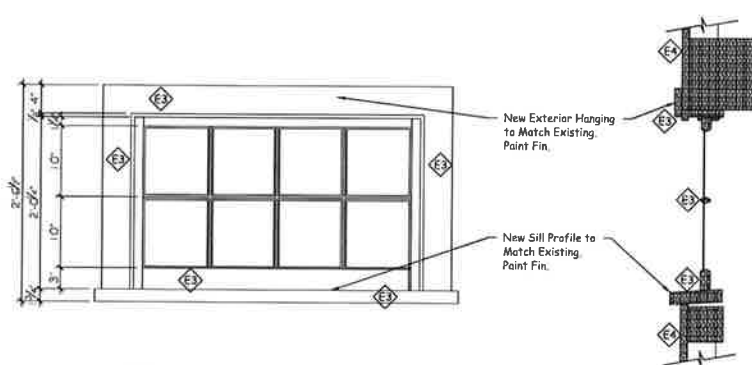
W101 - Plan - New
Scale: 1/4"=1'-0"



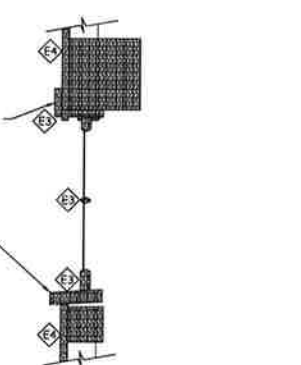
W100 - Exterior Elevation - New
Scale: 1/4"=1'-0"



W100 - Section - New
Scale: 1/4"=1'-0"

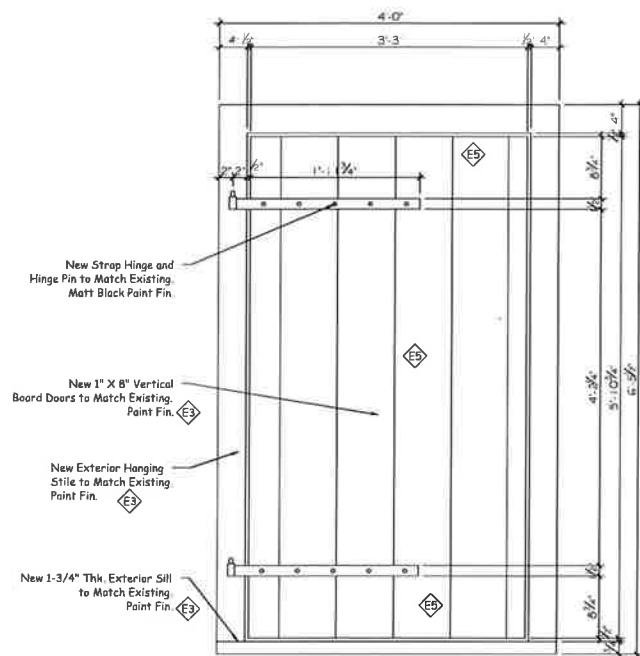


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Scale: 1/4"=1'-0"

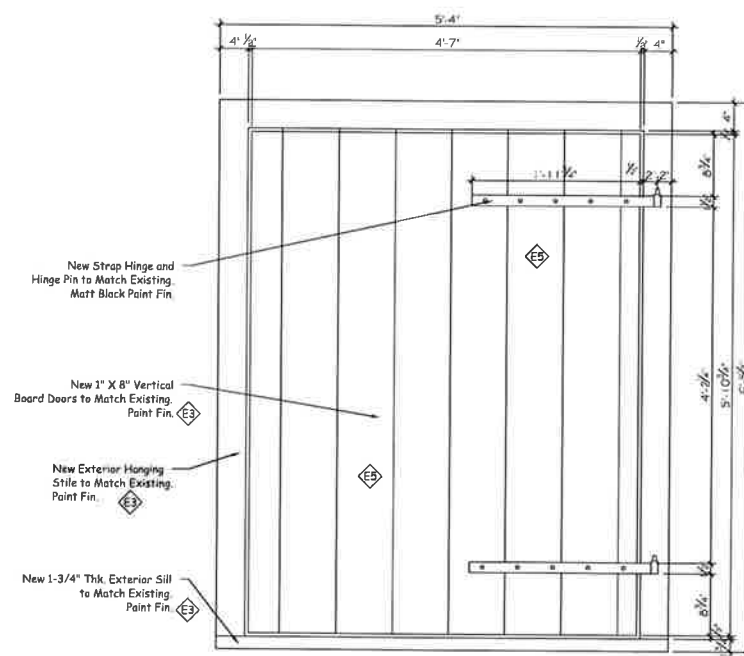


W100 - Section - New
Scale: 1/4"=1'-0"

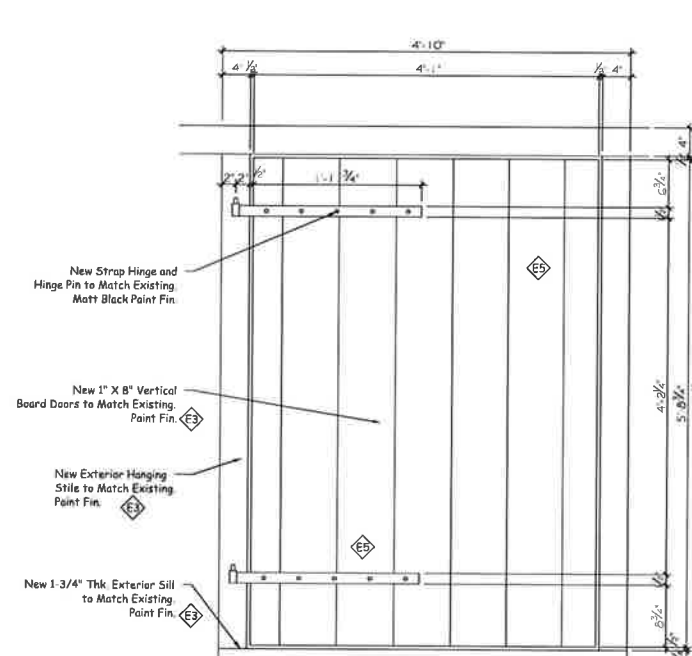
EXTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E3	Exterior Paint Finish. Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E4	New vertical Board and Batten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E5	New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E6	New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.



D100 - Exterior Elevation - New
Scale: 1/4"=1'-0"



D104 - Exterior Elevation - New
Scale: 1/4"=1'-0"



D105 - Exterior Elevation - New
Scale: 1/4"=1'-0"

1	Issued for Client Approval	27 / 11 / 2018
---	----------------------------	----------------

No.	Description	Date
	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Ctr. Markham ON L6G 0C8 905 852 5955

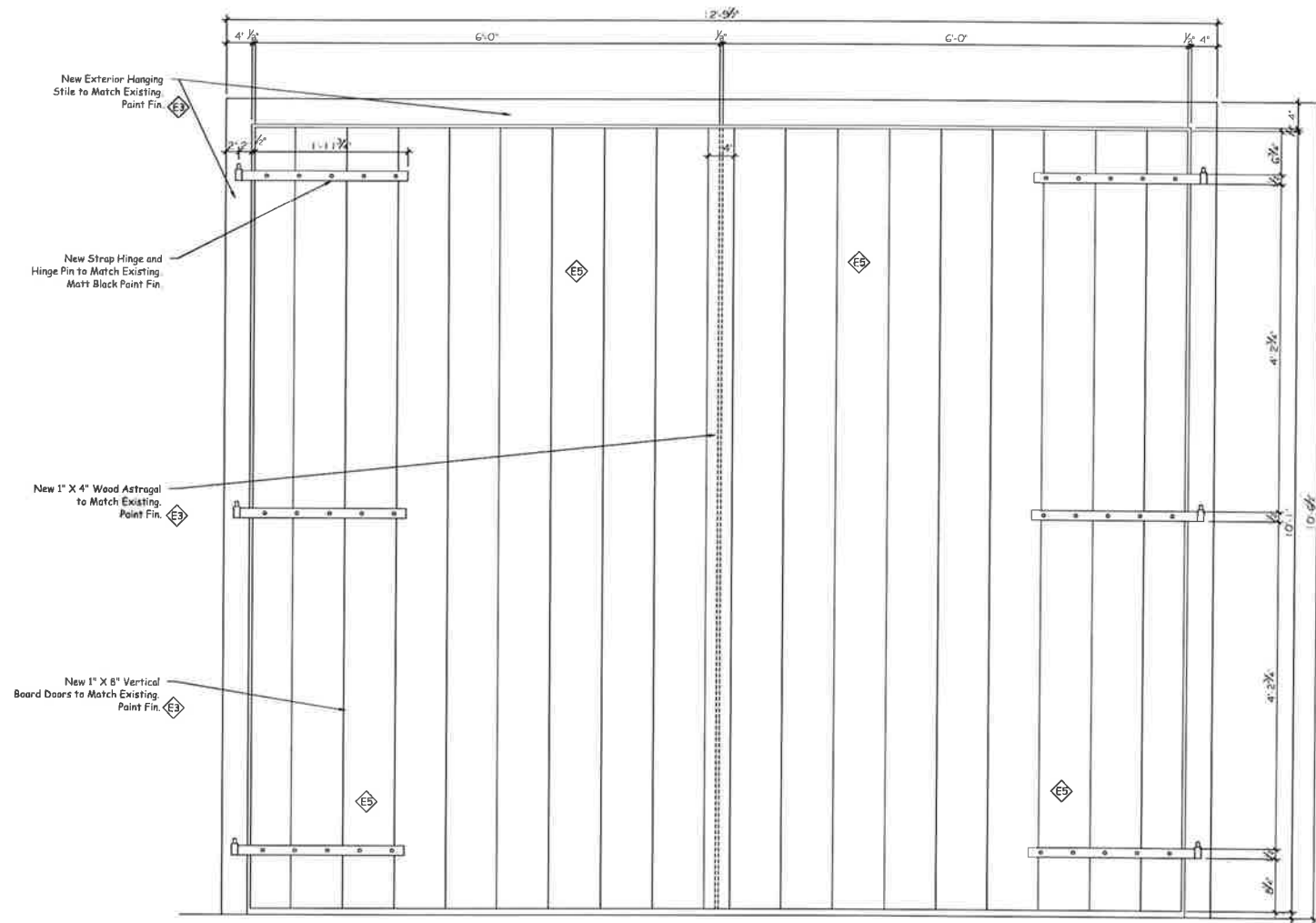
PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

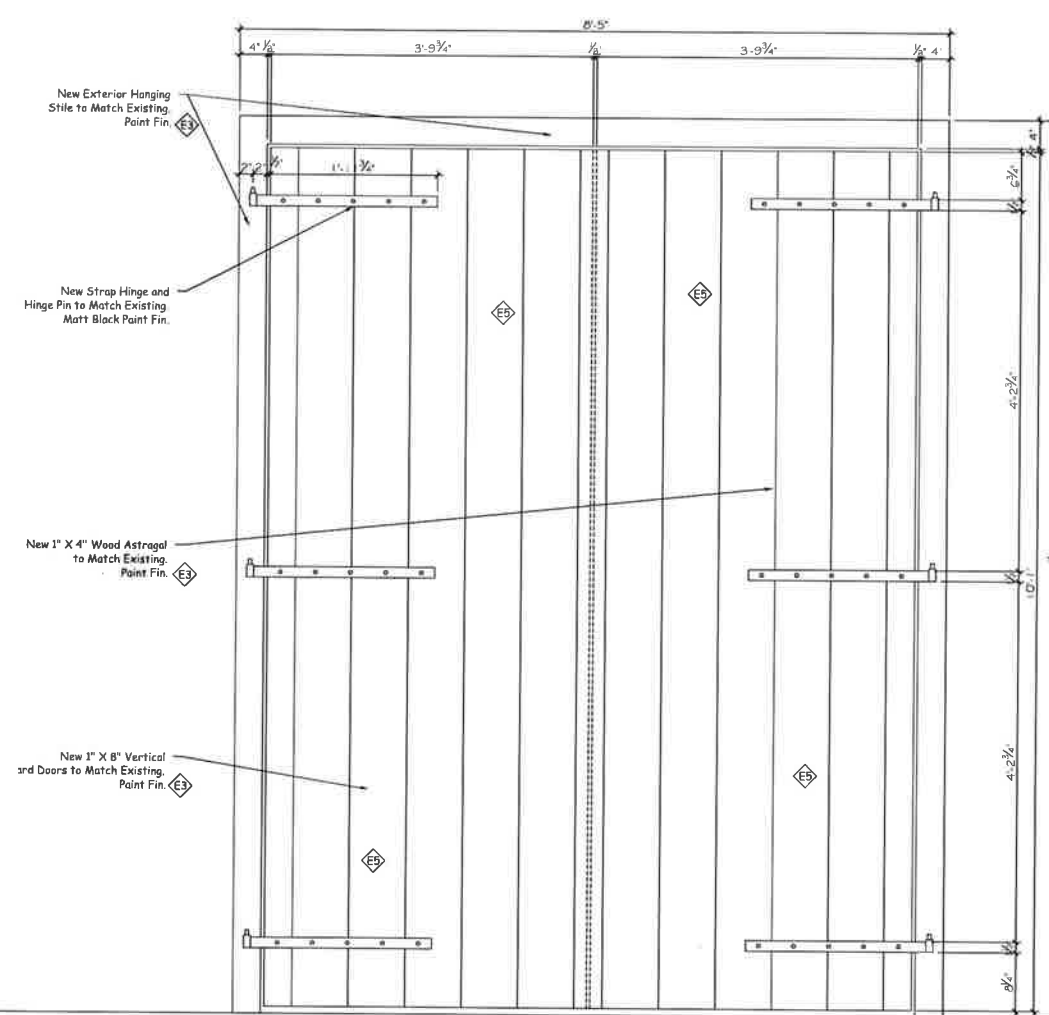
DRAWING TITLE

Exterior Details

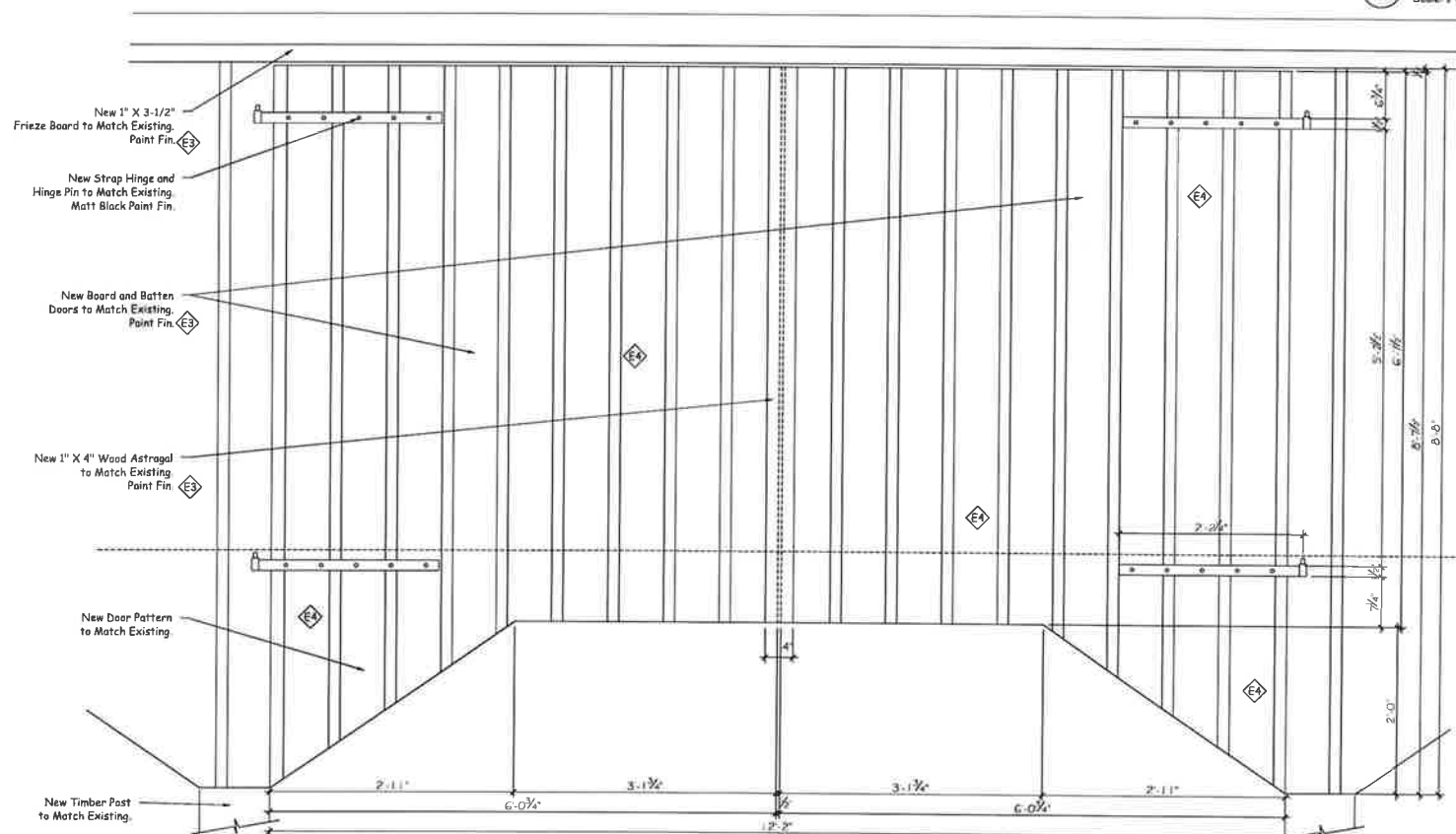
Scale:	1/4"=1'-0"	DRAWING NO. A3
Date:	Nov. 27, 2018	
Job No.		
Drawn By:	S.R.	
Checked By:		



D101 - Exterior Elevation - New
Scale: 1"=1'-0"



D103 - Exterior Elevation - New
Scale: 1"=1'-0"



D102 - Exterior Elevation - New
Scale: 1"=1'-0"

DETAIL
NUMBER
DRAWING
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E3	Exterior Paint Finish. Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Auro Collection" Colour by owner, Approved by Heritage Richmond Hill.
E4	New vertical Board and Batten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E5	New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E6	New 1" Fieldstone Veneer to be Reconstructed to match existing, Split face, not fully dressed, coursed rubble pattern.

1	Issued for Client Approval	27 / 11 / 2018
No.	Description	Date

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QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	39924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Exterior Details

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

A4

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	2A EXISTING TIMBER FRAME STRUCTURE TO BE REPLICATED AS SHOWN. TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION.
	4B

FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F1	NEW 3'-6" X 3'-6" X 1'-4" THK POURED CONC. PAD DOWN MIN. 4'-0" BELOW GRADE TO UNDISTURBED SOIL. 4-15M BAR @ 3'-0" O/C EACH WAY UP 3" FROM U/S FOOTING.

COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C1	NEW 1'-0" X 1'-0" POURED CONC. PIER C/W CAST IN PLACE GALV. STEEL SADDLE TO ACCEPT 100% WOOD COLUMN ABOVE. PIER C/W 4-15M BAR VERT / 15M BAR @ 1'-0" HORIZ.
C2	NEW 10" X 10" TIMBER COLUMN SAWN TO RECEIVE CAST IN PLACE STEEL SADDLE FROM C1 BELOW.
C3	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN TO MATCH EXISTING. ANCHOR TO NEW 10" X 10" TIMBER SILL.
C4	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN SAWN TO RECEIVE STEEL SADDLE CAST IN FDN WALL.

BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B1	NEW 10" X 10" W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.
B2	NEW 7" X 10" W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.

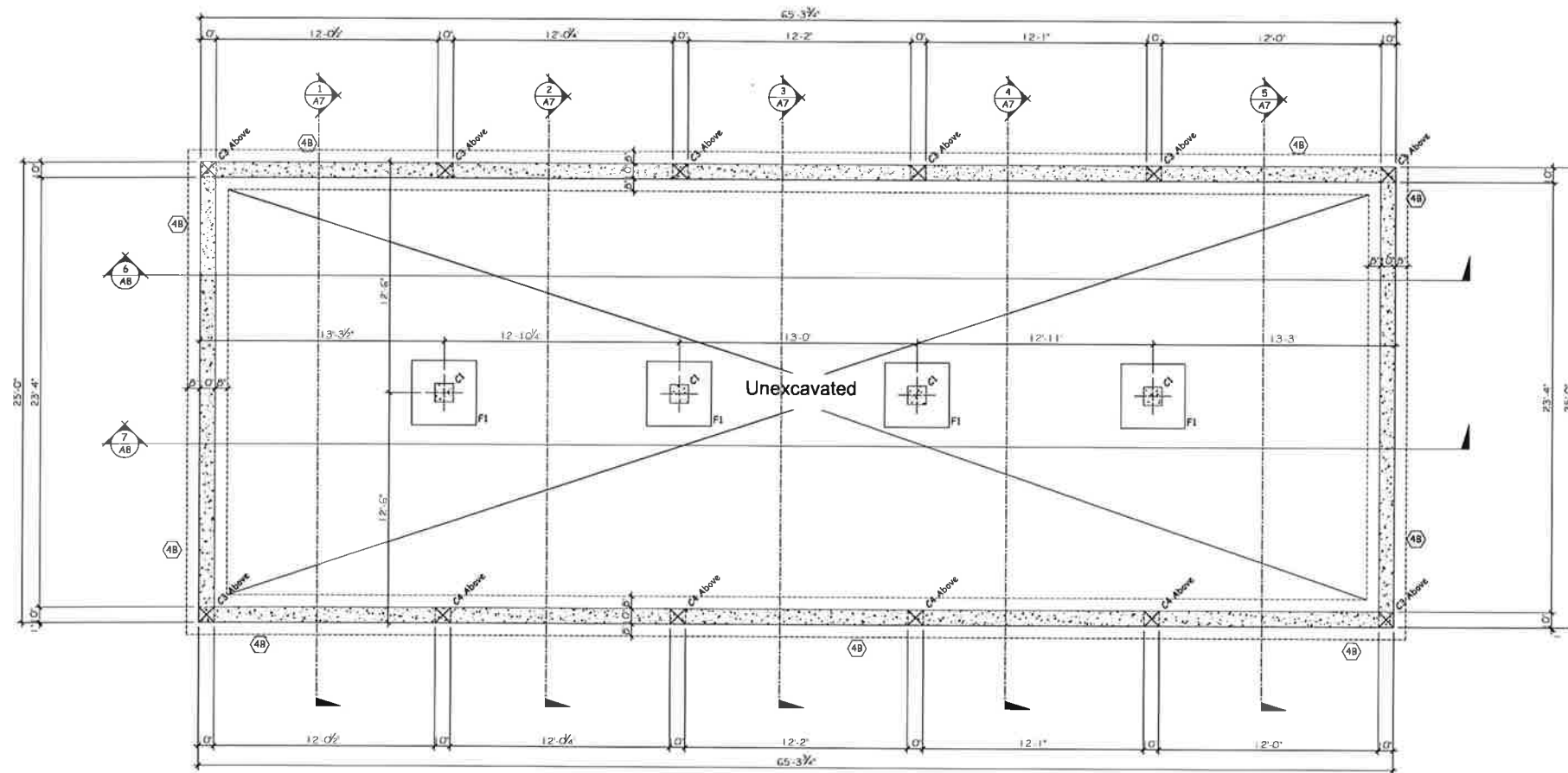
KNEEBRACE SCHEDULE	
SYMBOL	DESCRIPTION
KB1	NEW 4" X 4" TIMBER KNEEBRACING. STEEL CONNECTIONS AS PER STRUCTURAL ENGINEER.

FLOOR JOIST SCHEDULE (CA)	
SYMBOL	DESCRIPTION
FJ1	NEW FULL 2" X 10" SPR. JOISTS @ 2'-0" O/C.

ROOF RAFTER/CLG JOIST SCHEDULE (CA/B)	
SYMBOL	DESCRIPTION
R1	NEW FULL 2" X 10" SPRUCE RAFTERS @ 2'-0" O/C.
CJ1	NEW FULL 2" X 10" SPRUCE CEILING JOISTS @ 2'-0" O/C.

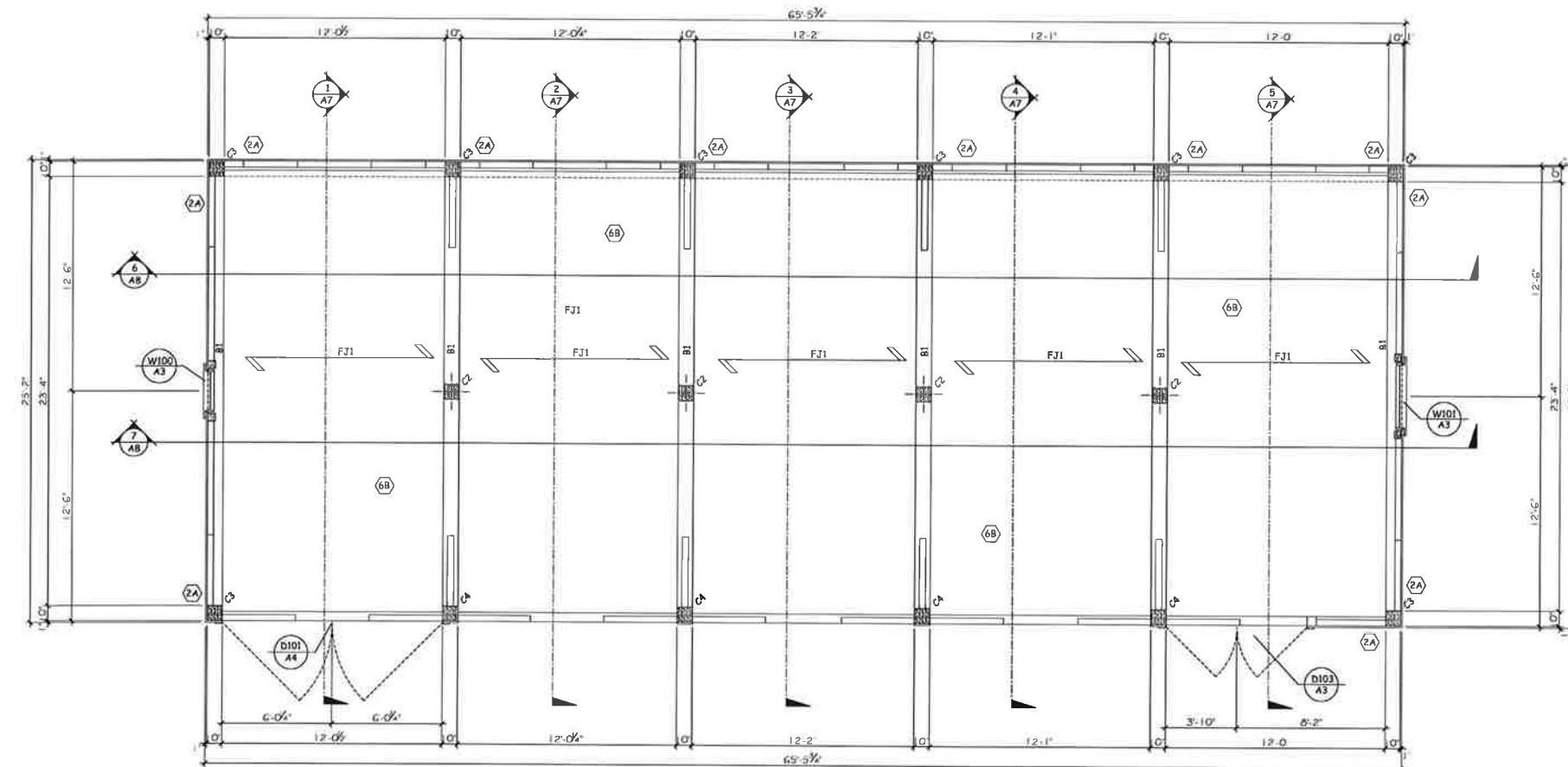
LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L1	EXISTING TO BE RESTORED.

Note: All Timber Frame Materials to be Graded White Pine.



Foundation Plan
Scale: 1/4"=1'-0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



Ground Floor Plan
Scale: 1/4"=1'-0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.

DETAIL
NUMBER
DRAWING
NUMBER

1	Issued for Client Approval	27 / 11 / 2018
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cms Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

**Foundation Plan
Ground Floor Plan**

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

A5

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	2A EXISTING TIMBER FRAME STRUCTURE TO BE REPLICATED AS SHOWN. TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION.
	4B

FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F1	NEW 3'-6" X 3'-6" X 1'-4" THK POURED CONC. PAD DOWN MIN. 4'-0" BELOW GRADE TO UNDISTURBED SOIL. 4-15M BAR @ 1'-0" O/C EACH WAY UP 3" FROM U/S FOOTING

COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C1	NEW 1'-0" X 1'-0" POURED CONC. PIER C/W CAST IN PLACE GALV. STEEL SADDLE TO ACCEPT 100% WOOD COLUMN ABOVE. PIER C/W 4-15M BAR VERT / 15M BAR @ 1'-0" HORIZ.
C2	NEW 10" X 10" TIMBER COLUMN SAWN TO RECEIVE CAST IN PLACE STEEL SADDLE FROM C1 BELOW.
C3	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN TO MATCH EXISTING. ANCHOR TO NEW 10" X 10" TIMBER SILL.
C4	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN SAWN TO RECEIVE STEEL SADDLE CAST IN FDN WALL.

BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B1	NEW 10"H X 10"W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.
B2	NEW 7"H X 10"W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.

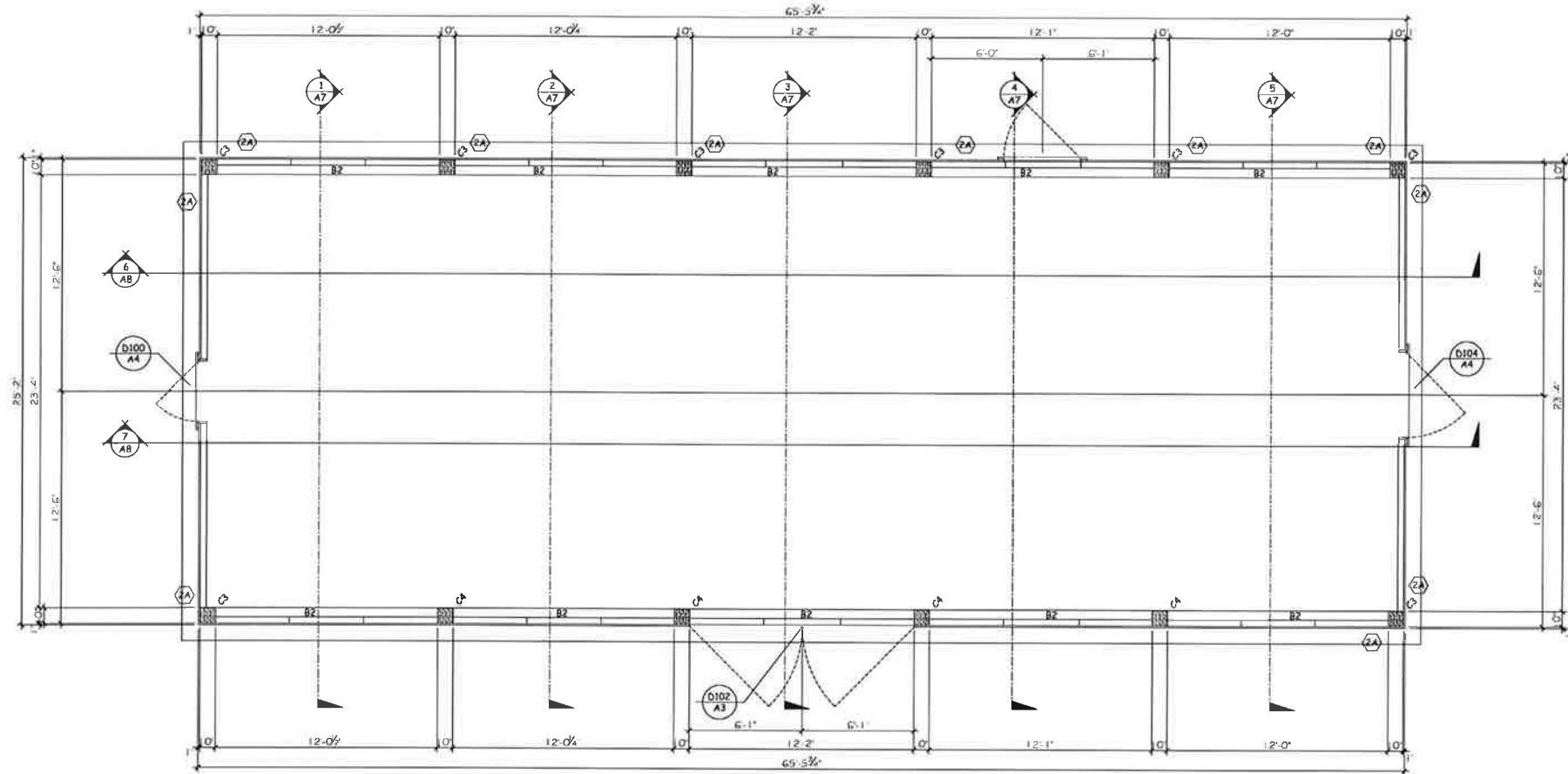
KNEEBRACE SCHEDULE	
SYMBOL	DESCRIPTION
KB1	NEW 4" X 4" TIMBER KNEEBRACING. STEEL CONNECTIONS AS PER STRUCTURAL ENGINEER.

FLOOR JOIST SCHEDULE	
SYMBOL	DESCRIPTION
FJ1	NEW FULL 3"X10" SPR. JOISTS @ 2'-0" O/C

ROOF RAFTER/CLG JOIST SCHEDULE	
SYMBOL	DESCRIPTION
R1	NEW FULL 3"X8" SPRUCE RAFTERS @ 2'-0" O/C
CJ1	NEW FULL 2"X8" SPRUCE CEILING JOISTS @ 2'-0" O/C

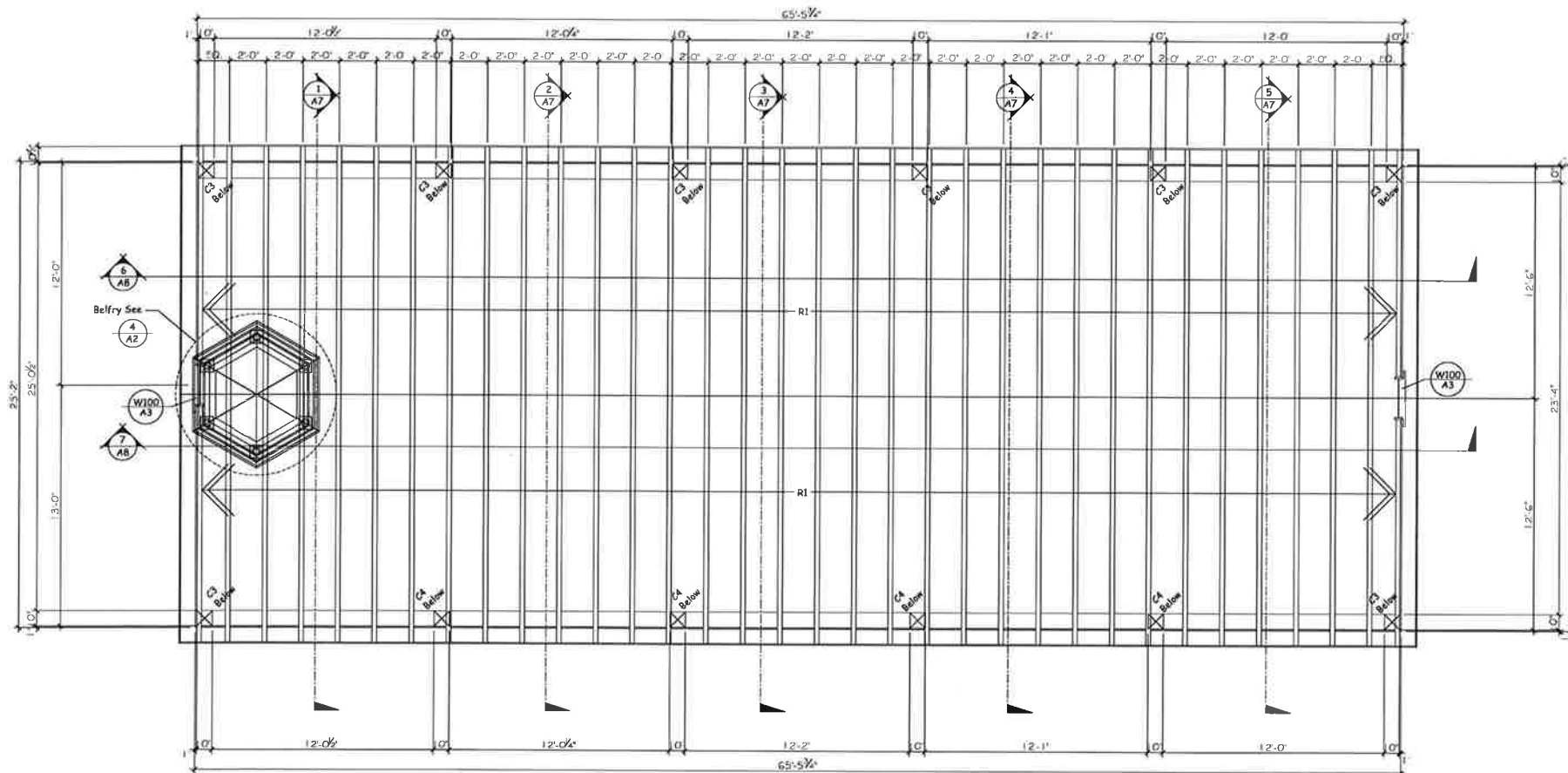
LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L1	EXISTING TO BE RESTORED

Note: All Timber Frame Materials to be Graded White Pine.



Second Floor Plan
Scale: 1/4"=1'-0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



Roof Framing Plan
Scale: 1/4"=1'-0"

Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.

DETAIL
NUMBER
DRAWING
NUMBER

Issued for Client Approval 27 / 11 / 2018		
No.	Description	Date

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QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres. Markham ON L6G 0C8 905.952.5095

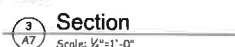
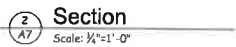
PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

**Second Floor Plan
Roof Framing Plan**



Scale: 1/4"=1'-0"	DRAWING NO. A6
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	



Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	(2A) EXISTING TIMBER FRAME STRUCTURE TO BE REPEATED AS SHOWN TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION
	(4B)
FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F1	NEW 3'-6" X 3'-6" X 1'-4" PAURED CONC. PAD DOWN MIN 4'-0" BELOW GRADE TO UNDISTURBED SOIL 4-15M BAR @ 1'-0" EACH WAY UP 3' FROM U/S FOOTING
COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C1	NEW 1'-0" X 1'-0" PAURED CONC. PIER C/W CAST IN PLACE GALV. STEEL SADDLE TO ACCEPT 10" DIA. WOOD COLUMN ABOVE. PIER C/W 4-15M BAR VERT 15M BAR 1'-0" HORIZ.
C2	NEW 10" X 10" TIMBER COLUMN SAWN TO RECEIVE CAST IN PLACE STEEL SADDLE FROM C1 BELOW
C3	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN TO MATCH EXISTING. ANCH-OR TO NEW 10" X 10" TIMBER SILL
C4	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN SAWN TO RECEIVE STEEL SADDLE CAST IN FDN WALL.
BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B1	NEW 10" X 10" W/ TIMBER BEAM TO MATCH EXISTING REPAIR OR REPLACE AS REQUIRED
B2	NEW 7" X 10" W/ TIMBER BEAM TO MATCH EXISTING REPAIR OR REPLACE AS REQUIRED
KNEEBRACE SCHEDULE	
SYMBOL	DESCRIPTION
KB1	NEW 4" X 4" TIMBER KNEEBRACING STEEL CONNECTIONS AS PER STRUCTURAL ENGINEER
FLOOR JOIST SCHEDULE (2A)	
SYMBOL	DESCRIPTION
FJ1	NEW FULL 2" X 10" SPR. JOISTS @ 2'-0" O/C
ROOF RAFTER/CLG JOIST SCHEDULE (2A) (4B)	
SYMBOL	DESCRIPTION
R1	NEW FULL 2" X 8" SPRUCE RAFTERS @ 2'-0" O/C
CJ1	NEW FULL 2" X 8" SPRUCE CEILING JOISTS @ 2'-0" O/C
LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L1	EXISTING TO BE RESTORED

Note: All Timber Frame Materials to be Graded White Pine

1	Issued for Client Approval	27 / 11 / 2018
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

NAME	SIGNATURE	BCIN
Scott Rushlow		29726

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
a s s o c i a t e s L t d
111-111 Upper Duke Cres. Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Building Sections

Scale:	$\frac{1}{4}"=1'-0"$	DRAWING NO.
Date:	Nov. 27, 2018	A7
Job No.		
Drawn By:	S.R.	
Checked By:		

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	(2A) EXISTING TIMBER FRAME STRUCTURE TO BE REPLICATED AS SHOWN. TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION.
	(4B)

FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
F1	NEW 3'-6" X 3'-6" X 1'-4" THK POURED CONC. PAD DOWN MIN 4'-0" BELOW GRADE TO UNDISTURBED SOIL. 4-15M BAR @ 1'-0" O/C EACH WAY UP 3' FROM U/S FOOTING.

COLUMN SCHEDULE	
SYMBOL	DESCRIPTION
C1	NEW 1'-0" X 1'-0" POURED CONC. PIER C/W CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 10"x10" WOOD COLUMN ABOVE. PIER C/W 4-15M BAR VERT / 15M BAR @ 1'-0" HORIZ.
C2	NEW 10" X 10" TIMBER COLUMN SAWN TO RECEIVE CAST IN PLACE STEEL SADDLE FROM C1 BELOW.
C3	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN TO MATCH EXISTING ANCHOR TO NEW 10" X 10" TIMBER STILL.
C4	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN SAWN TO RECEIVE STEEL SADDLE CAST IN FDN WALL.

BEAM SCHEDULE	
SYMBOL	DESCRIPTION
B1	NEW 10"x10" W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.
B2	NEW 7"x10" W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.

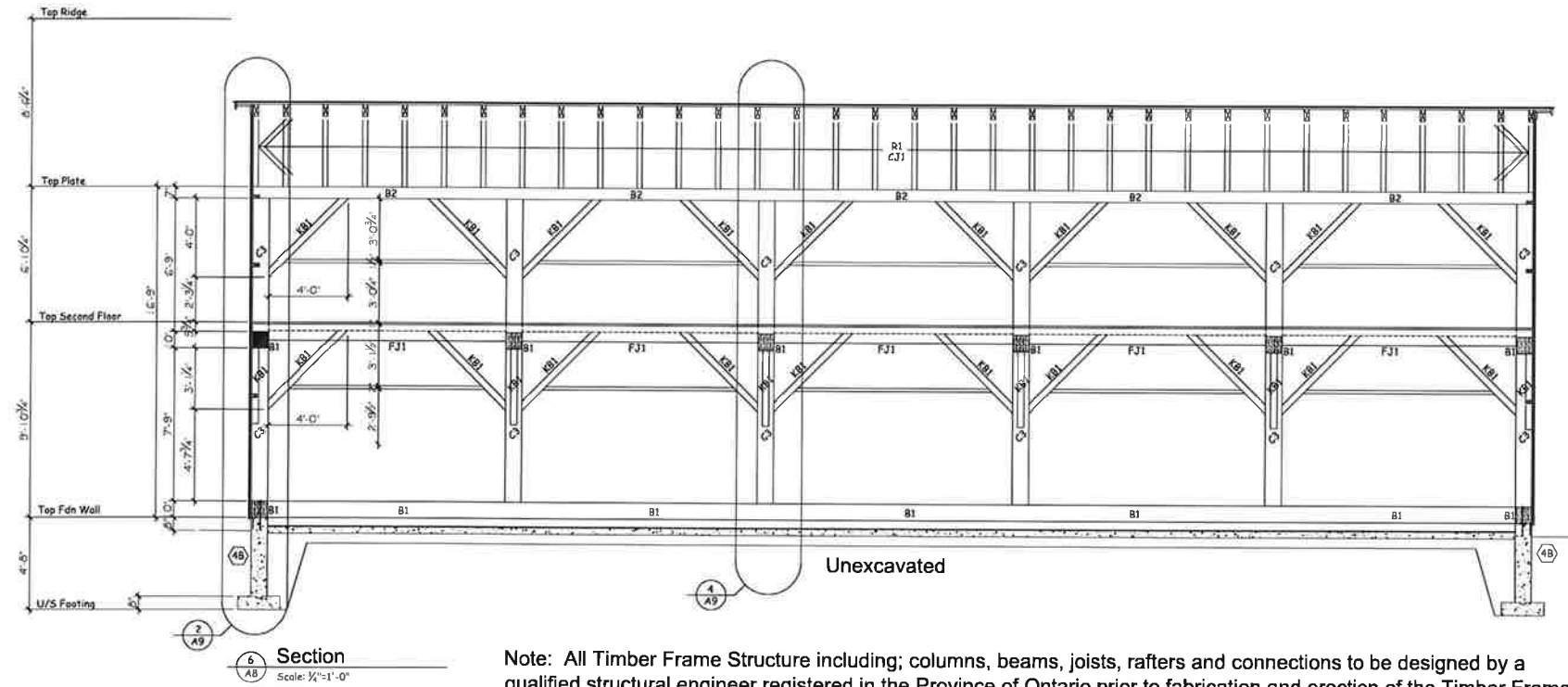
KNEEBRACE SCHEDULE	
SYMBOL	DESCRIPTION
KB1	NEW 4" X 4" TIMBER KNEEBRACING. STEEL CONNECTIONS AS PER STRUCTURAL ENGINEER.

FLOOR JOIST SCHEDULE (2A)	
SYMBOL	DESCRIPTION
FJ1	NEW FULL 3"x10" SPR. JOISTS @ 2'-0" O/C.

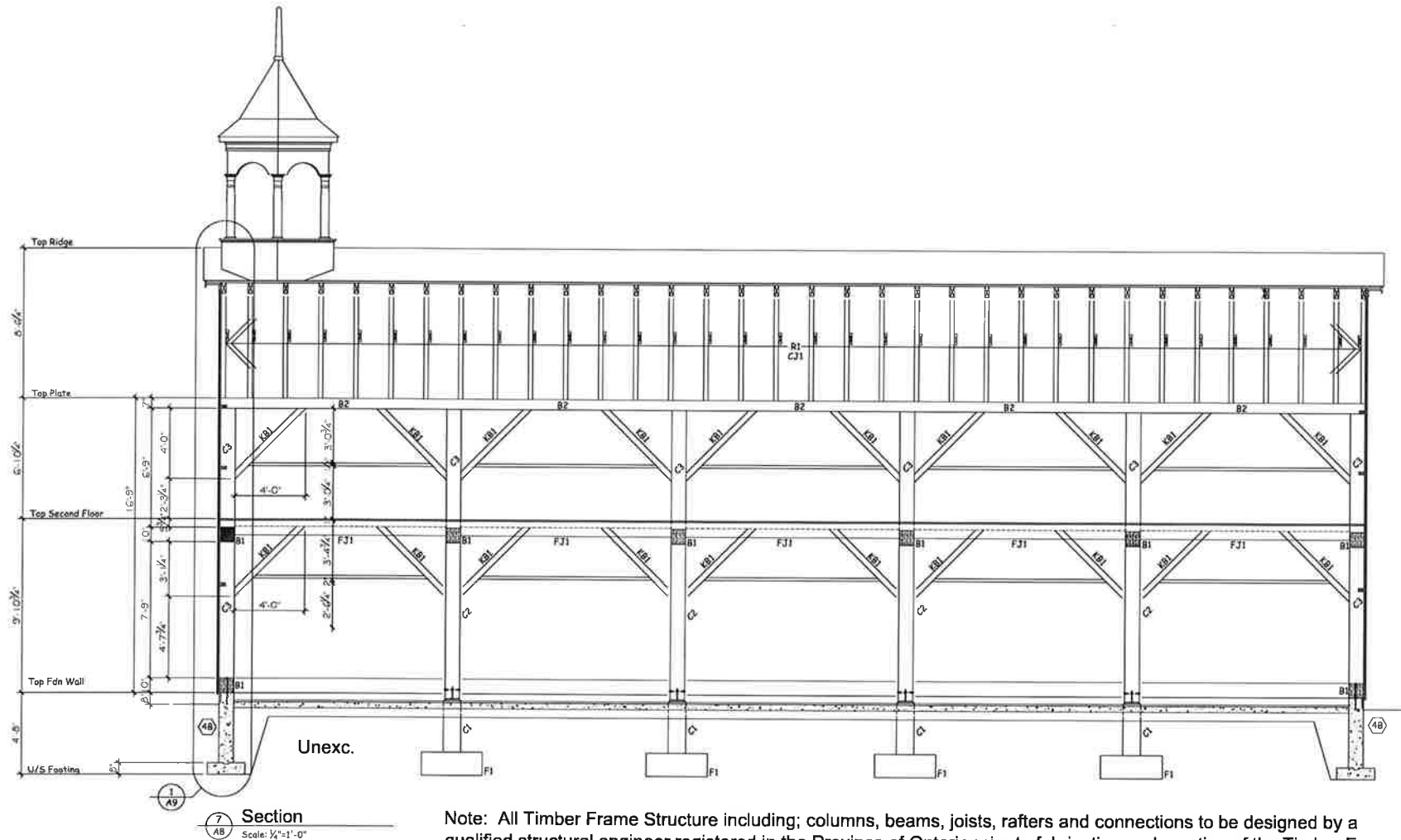
ROOF RAFTERS/CEILING JOIST SCHEDULE (2A/4B)	
SYMBOL	DESCRIPTION
R1	NEW FULL 3"x8" SPRUCE RAFTERS @ 2'-0" O/C.
CJ1	NEW FULL 2"x8" SPRUCE CEILING JOISTS @ 2'-0" O/C.

LINTEL SCHEDULE	
SYMBOL	DESCRIPTION
L1	EXISTING TO BE RESTORED.

Note: All Timber Frame Materials to be Graded White Pine.



Note: All Timber Frame Structure including; columns, beams, joists, rafters and connections to be designed by a qualified structural engineer registered in the Province of Ontario prior to fabrication and erection of the Timber Frame.



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DETAIL
NUMBER
DRAWING
NUMBER

No.	Description	Date
1	Issued for Client Approval	27 / 11 / 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Scott Rushlow	29725
NAME	SIGNATURE
BCIN	BCIN

REGISTRATION INFORMATION	
Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres. Markham, ON L6G 0C8 905 862 5595

PROJECT
Jane McCague Driveshed
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

Building Sections

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

A8

SYMBOL	DESCRIPTION
	EXISTING TIMBER FRAME STRUCTURE TO BE REPLICATED AS SHOWN. TIMBER FRAME CONSTRUCTION AS PER STRUCTURAL ENGINEER'S SPECIFICATION.

SYMBOL	DESCRIPTION
F1	NEW 3'-6" X 3'-6" X 1'-4" THK POURED CONC. PAD DOWN MIN 4" BELOW GRADE TO UNDISTURBED SOIL. 4-15M BAR @ 1'-0" O/C EACH WAY UP 3" FROM U/S FOOTING.

SYMBOL	DESCRIPTION
C1	NEW 1'-0" X 1'-0" POURED CONC. PIER C/W CAST IN PLACE GALV. STEEL SADDLE TO ACCEPT 10" DIA. WOOD COLUMN ABOVE. PIER C/W 4-15M BAR VERT / 15M BAR @ 1'-0" HORIZ.
C2	NEW 10" X 10" TIMBER COLUMN SAWN TO RECEIVE CAST IN PLACE STEEL SADDLE FROM C1 BELOW.
C3	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN TO MATCH EXISTING. ANCHOR TO NEW 10" X 10" TIMBER SILL.
C4	NEW FULL HEIGHT 10" X 10" TIMBER COLUMN SAWN TO RECEIVE STEEL SADDLE CAST IN FDN WALL.

SYMBOL	DESCRIPTION
B1	NEW 10"H X 10"W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.
B2	NEW 7"H X 10"W TIMBER BEAM TO MATCH EXISTING. REPAIR OR REPLACE AS REQUIRED.

SYMBOL	DESCRIPTION
KB1	NEW 4" X 4" TIMBER KNEEBRACING. STEEL CONNECTIONS AS PER STRUCTURAL ENGINEER.

SYMBOL	DESCRIPTION
FJ1	NEW FULL 3" X 10" SPR. JOISTS @ 2'-0" O/C.

SYMBOL	DESCRIPTION
R1	NEW FULL 3" X 8" SPRUCE RAFTERS @ 2'-0" O/C.
CJ1	NEW FULL 2" X 8" SPRUCE CEILING JOISTS @ 2'-0" O/C.

SYMBOL	DESCRIPTION
L1	EXISTING TO BE RESTORED.

Note: All Timber Frame Materials to be Graded White Pine.

DETAIL
NUMBER
DRAWING
NUMBER

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E3	Exterior Paint Finish. Paint 3 coat work 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill.
E4	New vertical Board and Batten wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E5	New vertical Board wood siding to Match Existing. Latex Stain fin. Colour by Owner, Approved by Heritage Richmond Hill.
E6	New 1" Fieldstone Veneer to be Reconstructed to match existing. Split face, not fully dressed, coursed rubble pattern.

SYMBOL	DESCRIPTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Scott Rushlow	29926
NAME	SIGNATURE

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cree Markham ON L6G 0C8 905 852 5595

PROJECT

Jane McCague Driveshed

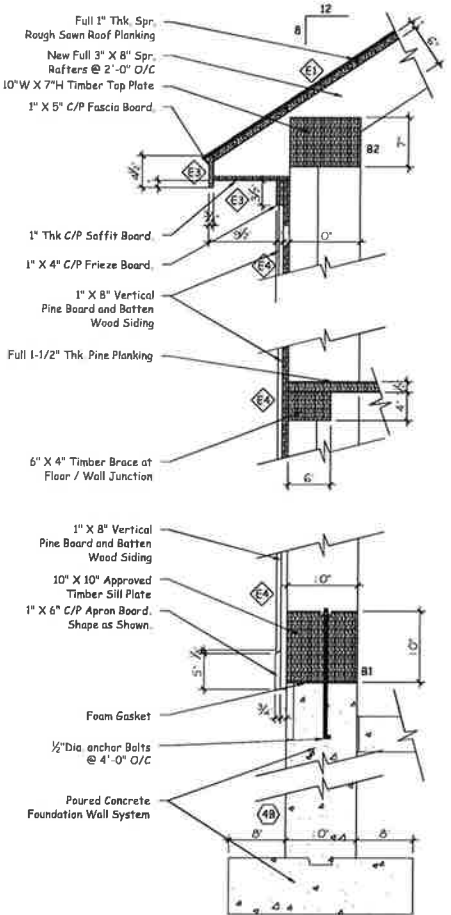
C/O Leslie Elgin Developments Inc.
11121 Leslie Street
Richmond Hill, Ontario

DRAWING TITLE

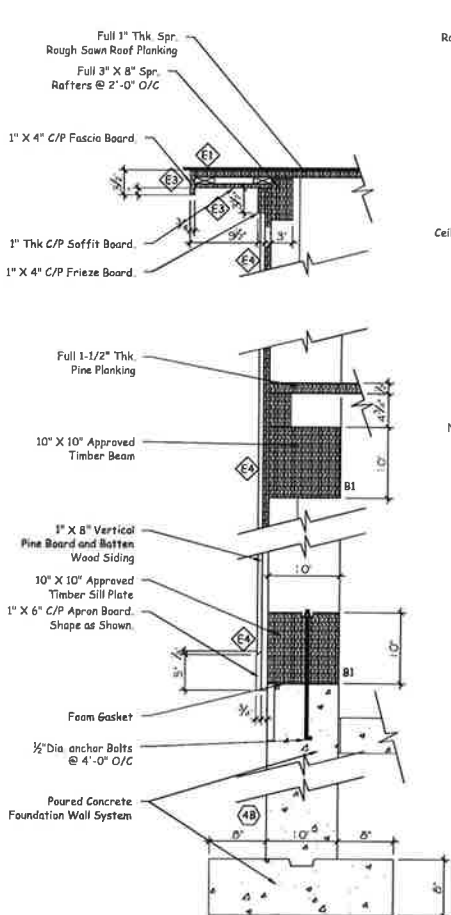
Building Details

Scale: 1"=1'-0"	DRAWING NO.
Date: Nov. 27, 2018	
Job No.	
Drawn By: S.R.	
Checked By:	

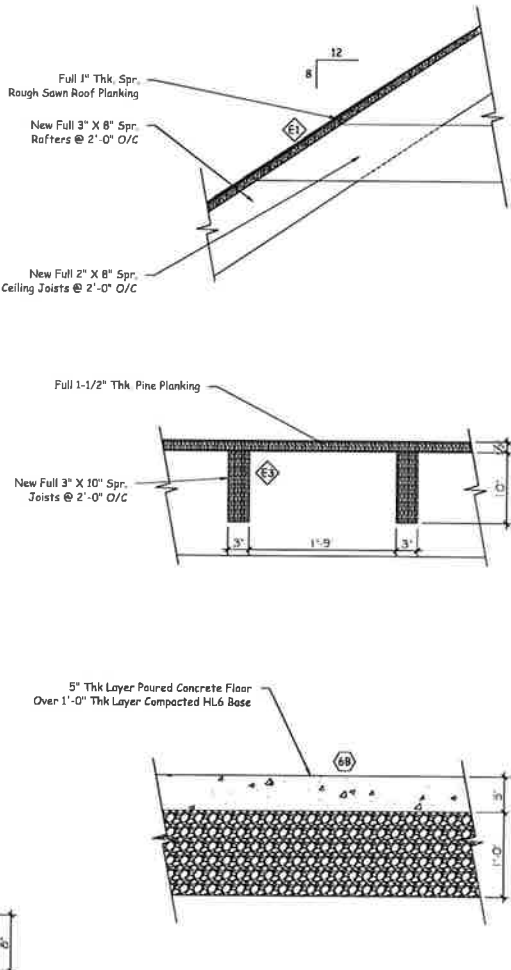
A9



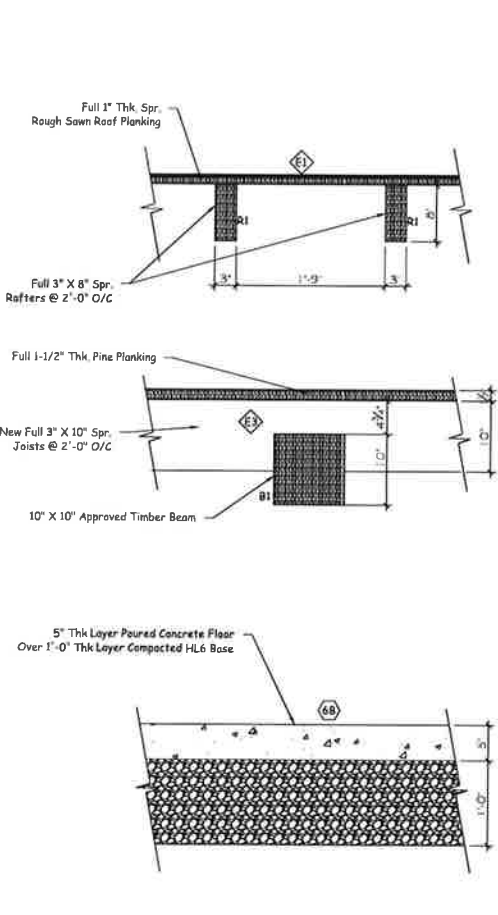
1 Soffit Wall Detail - New
Scale: 1"=1'-0"



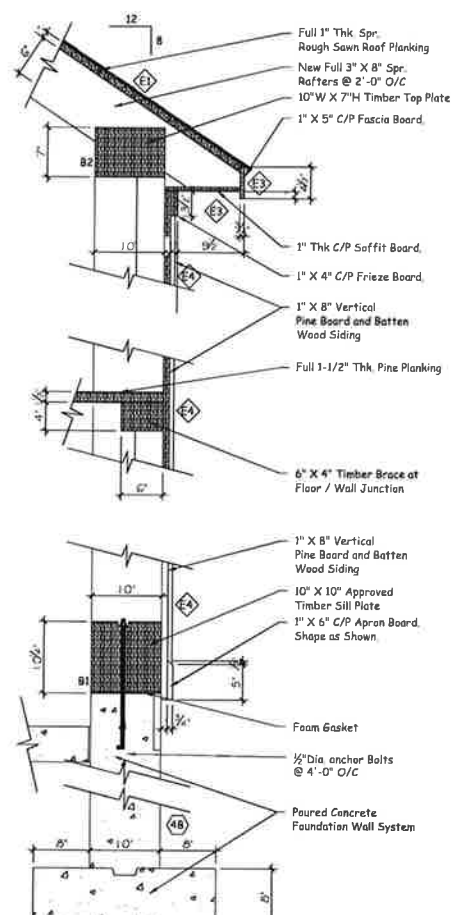
2 Gable Wall Detail - New
Scale: 1"=1'-0"



3 Interior Beam Detail - New
Scale: 1"=1'-0"



4 Interior Beam Detail - New
Scale: 1"=1'-0"



5 Soffit Wall Detail - New
Scale: 1"=1'-0"