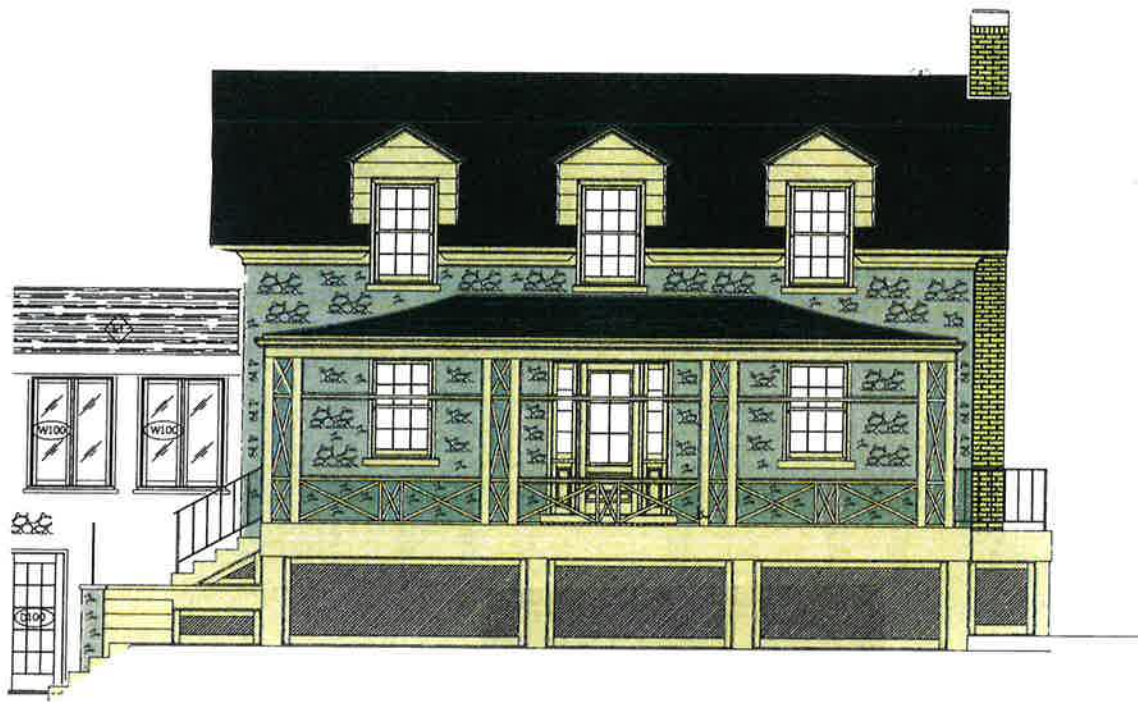


## CONSERVATION PLAN



### **HILTS/BAWDEN HOUSE 'COLDEN' TOWN OF RICHMOND HILL**

January 2017

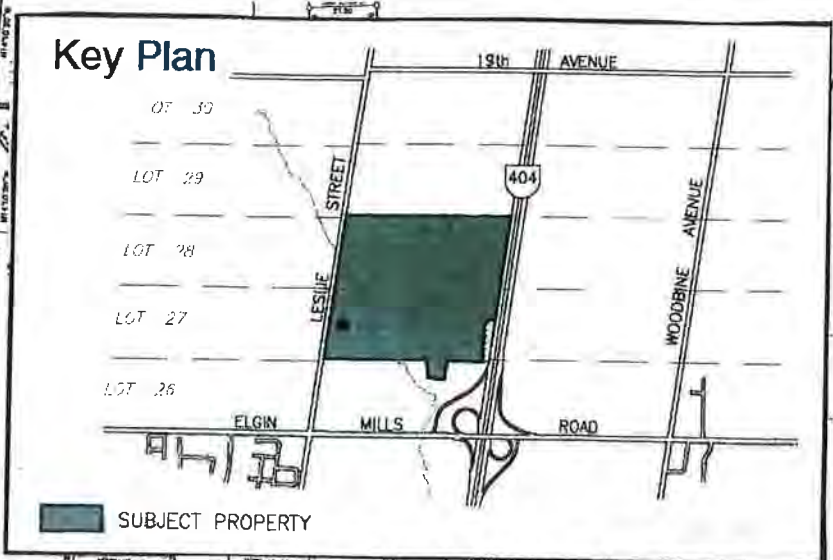
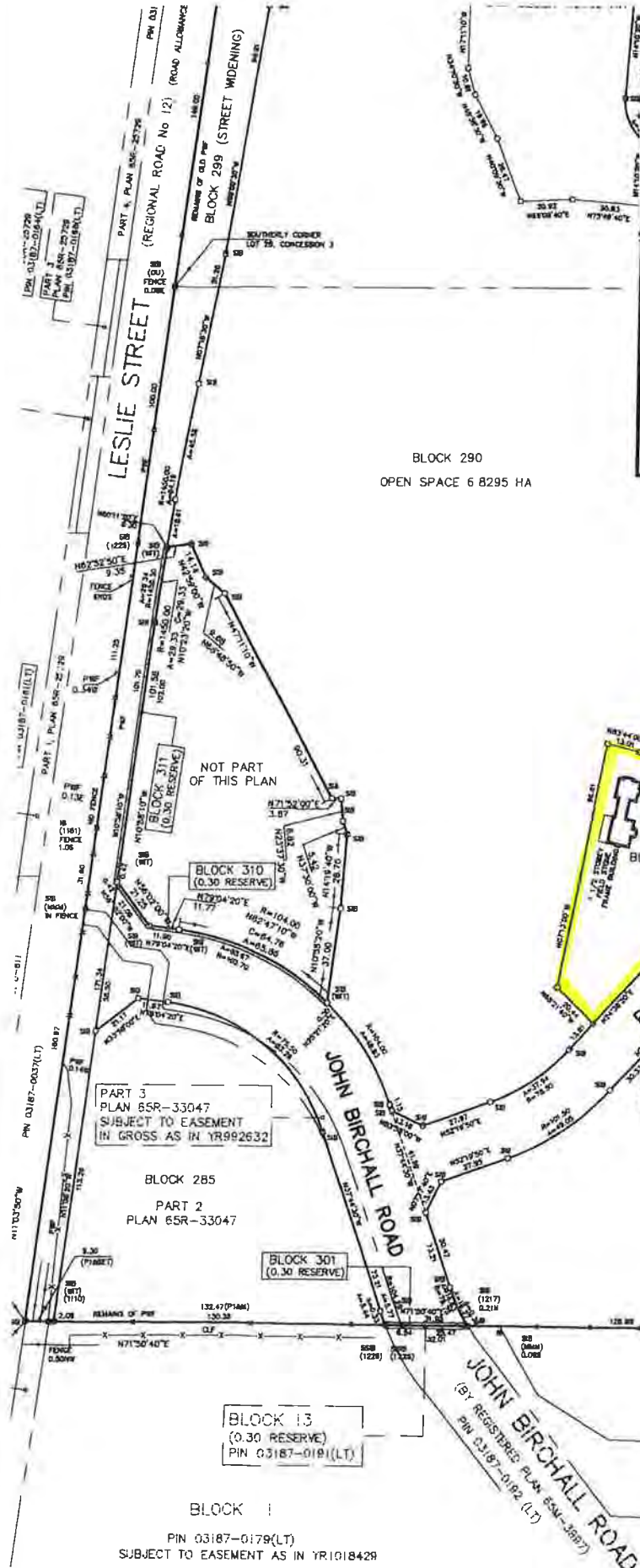
Prepared for:  
Leslie Elgin Developments Inc.

Prepared by:  
Scott Rushlow Associates Ltd.  
Heritage Designer

## CONTENTS

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- 1) Key Plan
- 2) Communication from Wayne Morgan
- 3) Cost Estimate for restoration work
- 4) Cover sheet
- 5) Construction Notes and Plot Plan
- 6) Drawings A1 to A18





**WAYNE MORGAN**  
**HERITAGE PLANNER**

PO Box 1203, 21 Land's End  
Sutton West, Ontario L0E 1R0

(905) 722-5398  
[wayne.morgan@sympatico.ca](mailto:wayne.morgan@sympatico.ca)

## COMMENTS

Project: Hilts/Bawden House  
10961 Leslie Street  
Richmond Hill, Ontario  
Conservation Plan  
No. 12 – 8a

Drawings Reviewed: Conservation Plan, dated April 10, 2017, except as noted, by Scott  
Rushlow Associates Ltd consisting of:

Notes:	Drawing Schedule Construction Notes Plot Plan dated April 17, 2017
A1- A2:	Elevations
A3:	Details – Fascia/Soffit, Chimney
A4 – A5:	Details - Dormers
A6:	Details – East Vestibule
A7:	Details – Screen Room
A8:	Details – Front Entrance
A9 – A11:	Details – Windows
A12:	Foundation Plan
A13 – A14:	Floor Plans
A15:	Roof Framing Plan
A16:	Building Sections
A17 – A18:	Interior Details

Town Review: E-Mail dated from Joanne Leung, Manager of Urban Design and Heritage  
dated April 10, 2017

Date: April 17, 2017

Background: In my revised and updated Cultural Heritage Impact Assessment dated November  
2015, in respect of a Conservation Plan, I recommended:

*A Conservation Plan should be secured only if the proposed use of the  
Hilts/Bawden House changes from residential or if significant alterations  
are required to the House if it remains residential. Such a Conservation*



*Plan, which would be subject to municipal approval, would provide details of how the building will be conserved and readapted and how any impacts on the heritage attributes of the House will be addressed. The Plan should include drawings and specifications and should address, among other matters:*

- a. Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing and how services such as gas, water, sewer and electrical will be provided to the House; and*
- b. Interior conservation and rehabilitation work.*

Town Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

Conservation  
Plan Context:

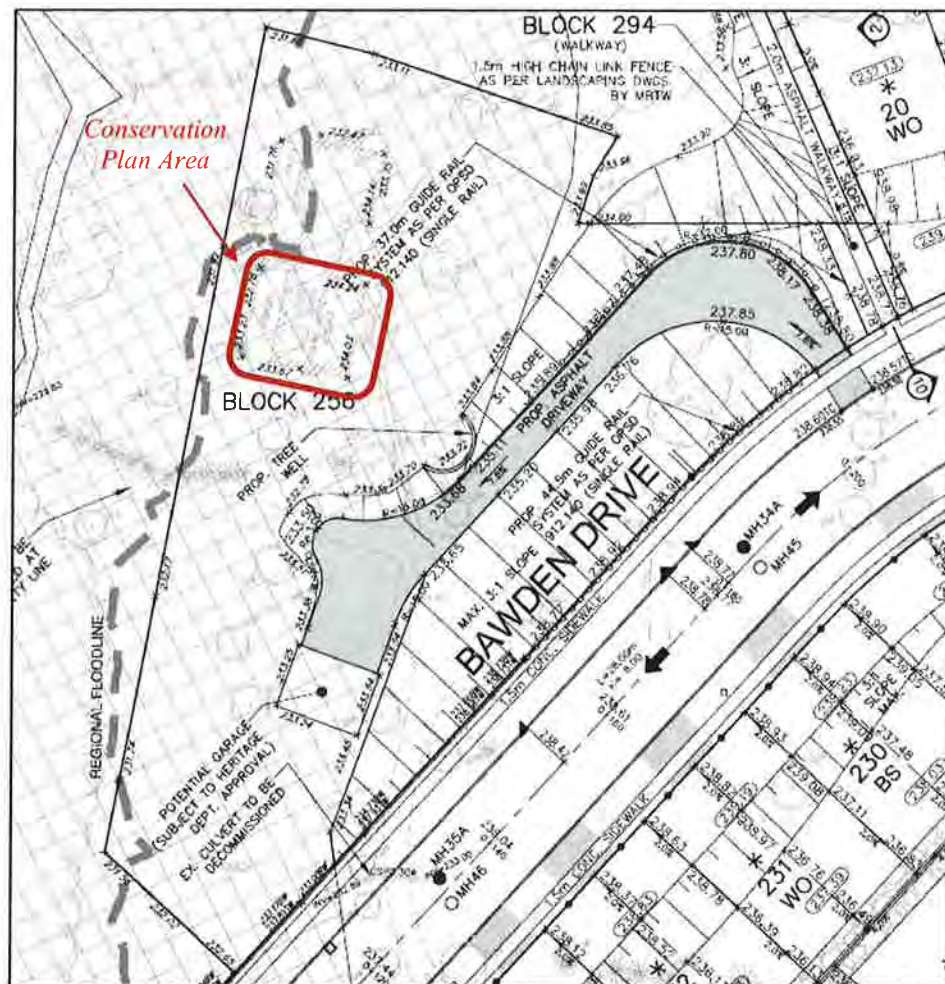


Figure 1 Conservation Plan Context Source: Part of L10-298 Base Grading

## Conservation

Plan Area: The Conservation Plan prepared by Scott Rushlow applies only to the portion of the building specified as having heritage attributes in Section 6.4, the Statement of Cultural Heritage Value, of my report dated November 2015. Mr. Rushlow has revised the 'Notes' drawing to show the Conservation Plan Area. The Conservation Plan Area is also shown in Figures 2 and 3 below.



Figure 2  
2016 Aerial  
Photo  
Source: York Maps

Conservation Plan Area

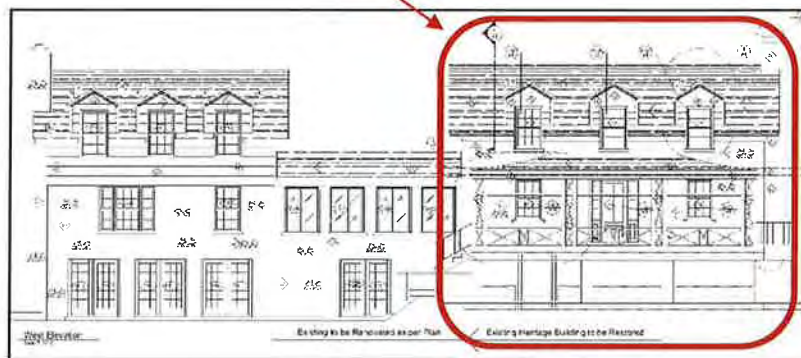


Figure 3  
West Elevation  
Source: Drawing A1

Comments: I have reviewed the Conservation Plan and of the opinion that the Plan provides for the conservation of the Hilts/Bawden House consistent with my November 2015 recommendation and with the *Standards and Guidelines for the Conservation of Historic Places in Canada* prepared by Parks Canada.

The Conservation Plan generally provides for the repair, rather than replacement, of heritage fabric associated with the heritage attributes of the House. Where the fabric cannot be repaired, such as the veranda posts, the Plan provides for the replacement of fabric using similar materials that replicate the appearance of the heritage attribute.

I note that the colours to be selected for exterior painting are to be done in consultation with Heritage Richmond Hill. The Plan no longer references Heritage Aurora.

Mr. Rushlow has revised the 'Notes' to show the provision of services such as gas, water and electricity, through the newer addition to the north, and not through the section of the building that is the subject of the Conservation Plan.

Some of the upper floor windows have exterior aluminum storm windows which are inconsistent with the heritage character of the building. Mr. Rushlow has agreed with the removal of the aluminum storm windows and their replacement with traditional wood storms. He is in the process of preparing such drawings.

Recommendations:

I recommend that the Conservation Plan prepared by Scott Rushlow Associates Ltd including notes, dated April 17, 2017, and drawings A1 to A18, dated April 10, 2017, be approved subject to:

1. The provision of drawings for traditional wood storm windows for the upper floor windows, and
2. The attachment of these comments to the Conservation Plan.

  
Wayne Morgan

# SCOTT RUSHLOW

## A s s o c i a t e s L t d

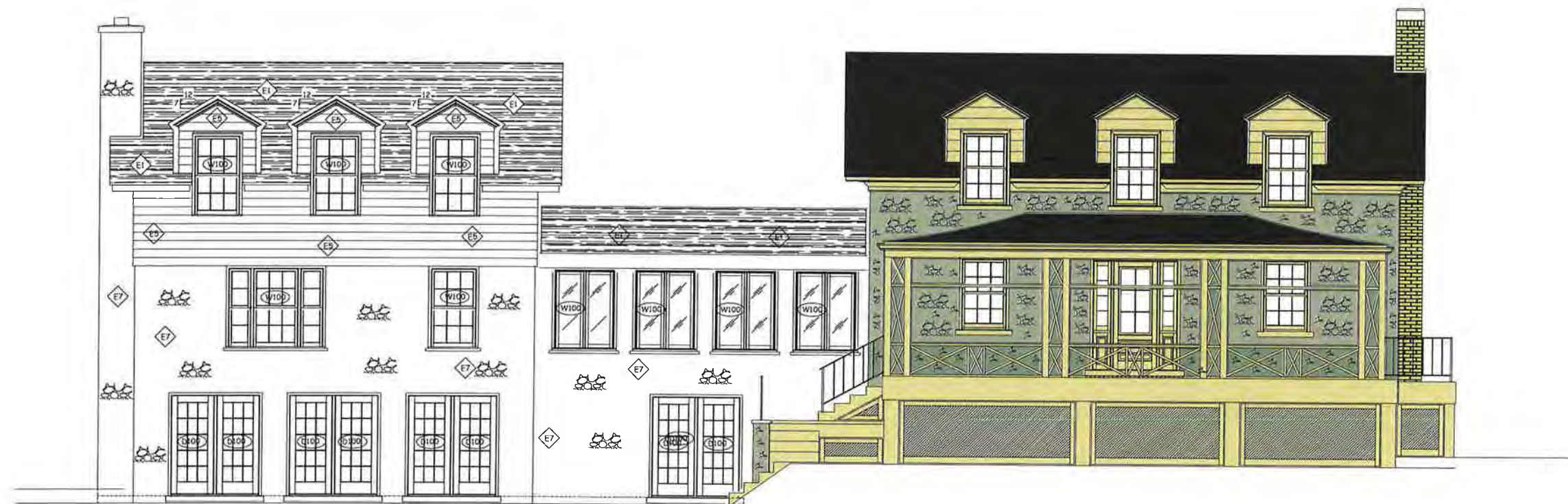
### SCOPE OF RESTORATION WORK:

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Roofing, #300 Asphalt	\$2.50/ft2	2,432ft2	\$6,080.00
2) Flat Roofing	\$25.00/ft2	165ft2	\$4,125.00
3) Fascia/Soffit Restoration	\$100.00/ft	232ft	\$23,200.00
4) Masonry Pointing	\$20.00/ft2	1,890/ft2	\$37,800.00
5) Dormer Restoration	\$1,500.00	6	\$9,000.00
6) Window Rest./inc storms	\$2,900.00	24	\$69,600.00
7) Door Rest./inc storms	\$3,500.00	5	\$17,500.00
8) Verandah Reconstruction	\$125.00/ft2	346ft2	\$43,250.00
9) Bay Restoration			\$12,500.00
10) Shutters Replacement	\$475.00/ea.	10	\$4,750.00
11) Chimney Restoration	\$3,750.00	1	\$3,750.00
12) Eaves Trough	\$20.00/ft	200	\$4,000.00
13) Exterior Painting (Fascia/soffit, Siding, Windows, Doors, Veranda)			\$27,500.00
14) Interior Trim Restoration (Casing, Baseboard, doors, stairs)			\$28,000.00
15) Interior Finishing (millwork only)			<u>\$25,000.00</u>
Subtotal			\$316,055.00
15% Contingency			<u>\$ 47,410.00</u>
Subtotal			\$363,465.00
H.S.T. 13%			<u>\$ 47,250.45</u>
<b>Total Estimate (Heritage Restoration only)</b>			<b>\$410,715.45</b>

2/2

10350 Concession #6 ▲ R.R.#2 ▲ Uxbridge ▲ Ontario ▲ L9P 1R2 ▲ 905 852 5595





# The Hilts/Bawden Farmhouse Conservation Plan

Issued for Client Approval 10 / 04 / 2017

No.	Description	Date
-----	-------------	------

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

### QUALIFICATION INFORMATION

NAME	SIGNATURE	DATE
Scott Rushlow		29726

### REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	3502A
FIRM	BCIN

**SCOTT RUSHLOW**  
a s s o c i a t e s   L t d  
RR#2 Uxbridge, Ontario, L9P 1K2 (905) 852-5595

## PROJECT

**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

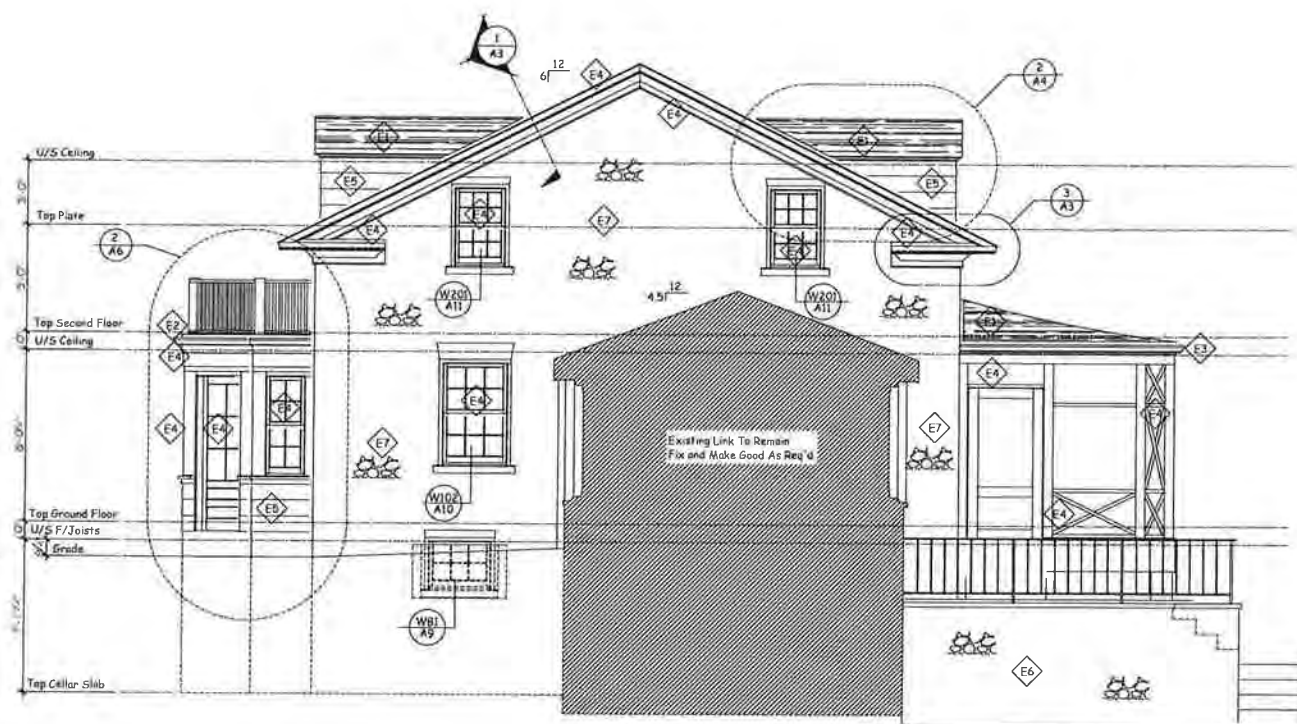
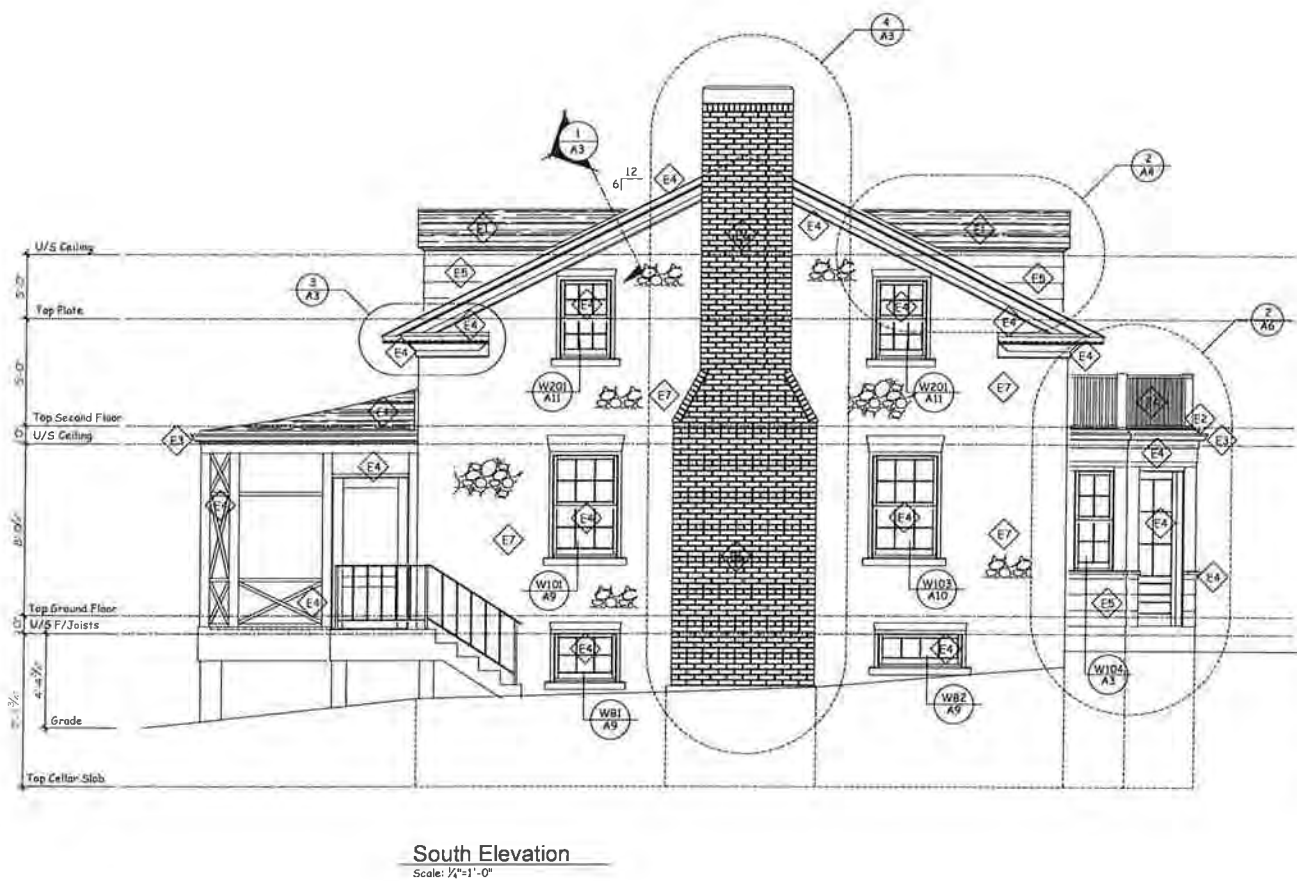
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Cover Sheet

Scale:	DRAWING NO.
Date: Apr. 18, 2017	
Job No	
Drawn By: S R	
Checked By:	







EXTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd Colour by owner. Approved by Heritage Richmond Hill
E2	New Pre-fin alum Sheet Metal Roofing as per O B C 9 26 13 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed Exterior Paint Finish. Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner. Approved by Heritage Richmond Hill
E5	Existing 9" Horizontal Bevel wood siding to be restored and or replaced as required to match the original form. Scrape and sand siding and make ready for paint finish as needed Exterior Paint Finish. Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner. Approved by Heritage Richmond Hill
E6	Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017

No Description Date  
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

**QUALIFICATION INFORMATION**  
Scott Rushlow 49726  
NAME: SIGNATURE BCIN  
**REGISTRATION INFORMATION**  
Scott Rushlow Associates Ltd 35924  
FIRM BCIN

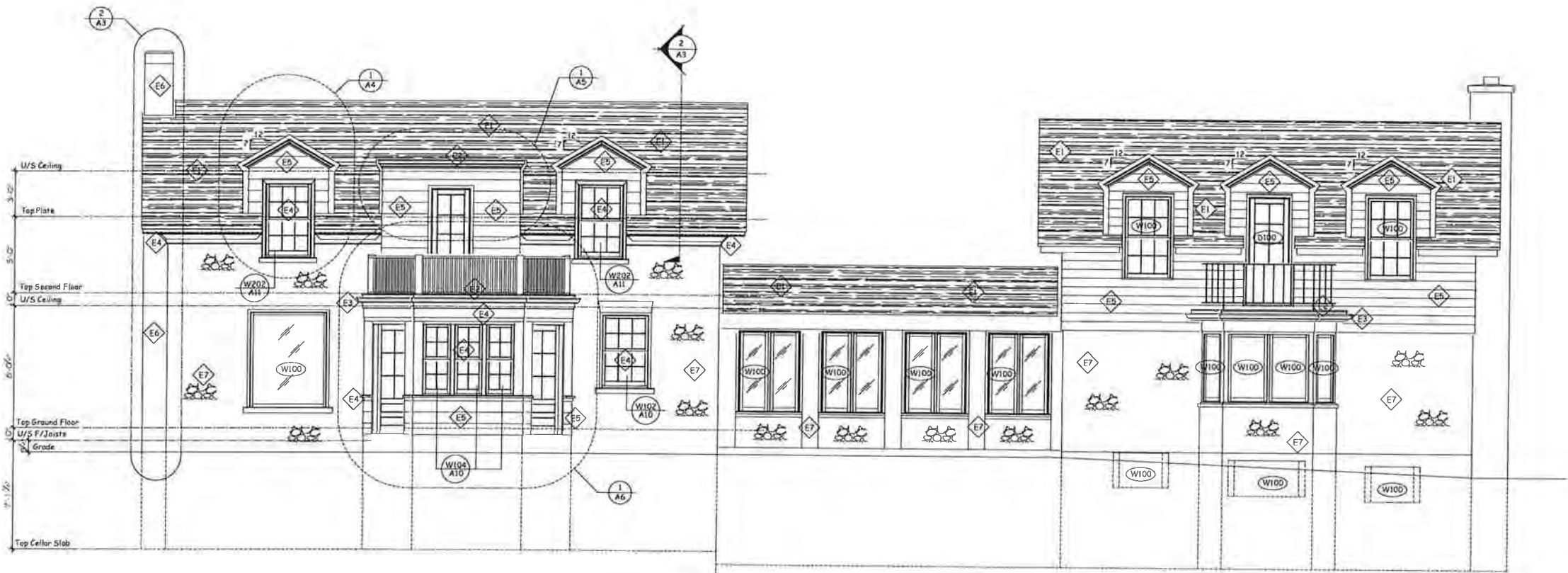
**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

**PROJECT**  
**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

**DRAWING TITLE**

**Exterior Elevations**

Scale: 1/4"=1'-0"  
Date: Apr. 18, 2017  
Job No:  
Drawn By: S.R.  
Checked By:  
**DRAWING NO.**  
**A1**

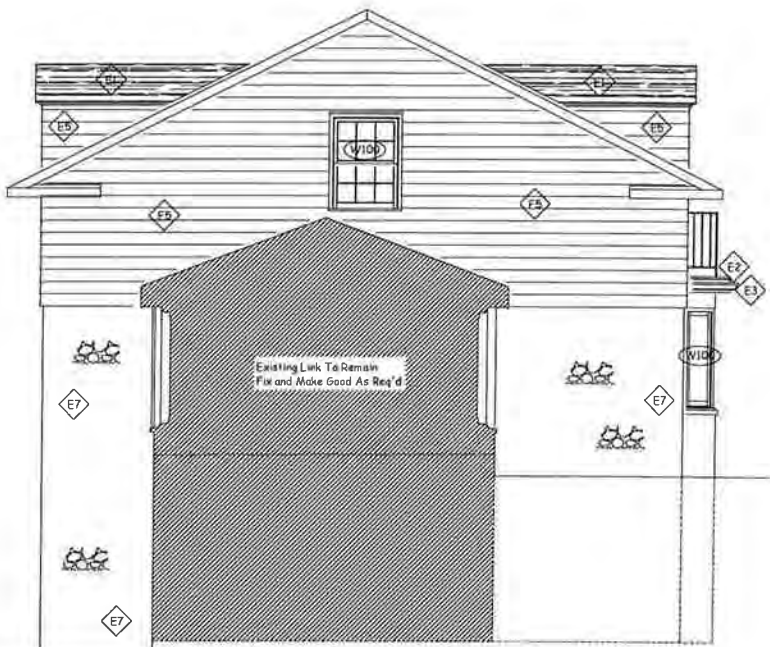


East Elevation

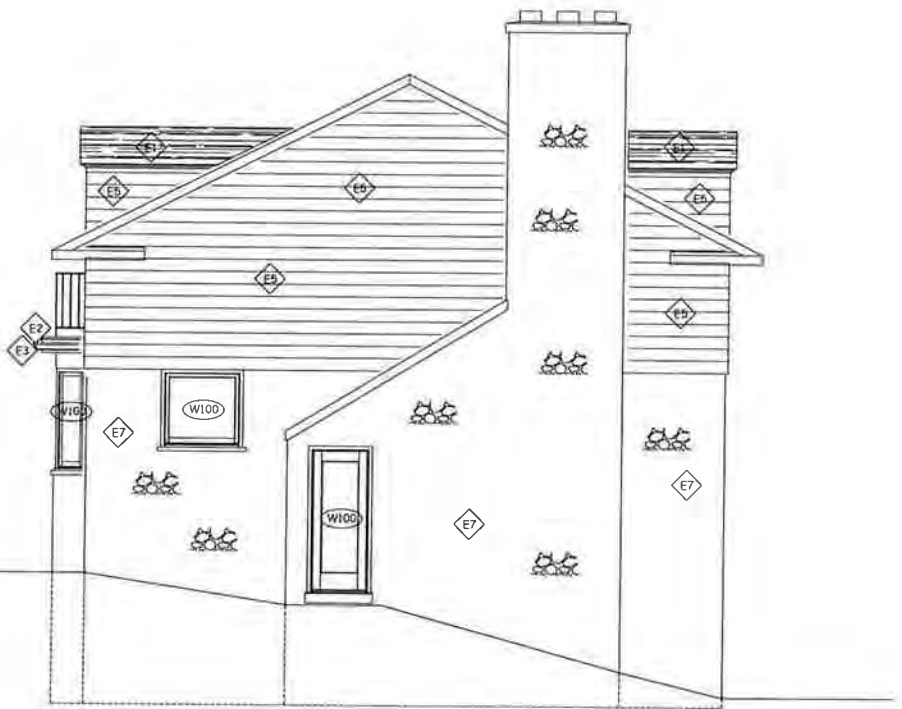
Existing Heritage Building to be Restored

Existing to be Renovated as per Plan

EXTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-finish Flashings, Trims and Fittings as Req'd Colour by owner. Approved by Heritage Richmond Hill
E2	New Pre-finish Sheet Metal Roofing as per O.B.C. 9.26.13. Roofing C/W all Pre-finish Flashings, Trims and Fittings as Req'd
E3	New Pre-finish Eaves trough C/W all Pre-finish Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed Exterior Paint Finish: Paint 3 coat work 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner. Approved by Heritage Richmond Hill
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South Elevation / Section  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"

1	Issued for Client Approval	10 / 04 / 2017
No	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION	
Scott Rushlow	29720
NAME:	BCIN

REGISTRATION INFORMATION	
Scott Rushlow Associates Ltd.	19924
191KM	BCIN

**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

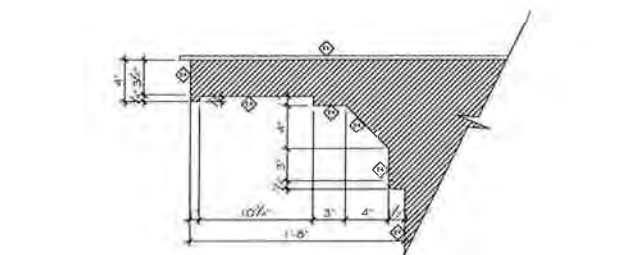
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**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

DRAWING TITLE

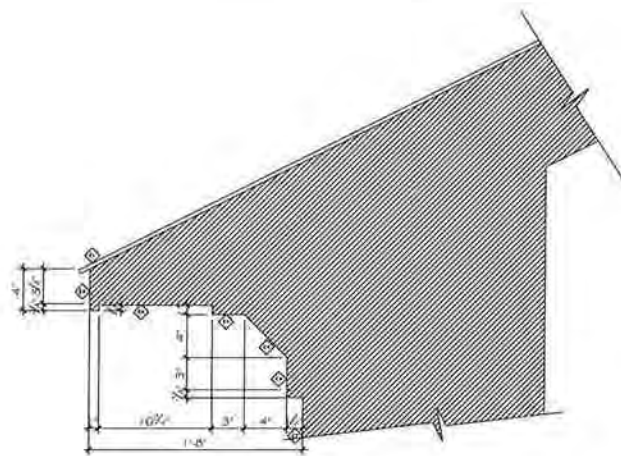
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Job No.	
Drawn By: S.R.	
Checked By:	

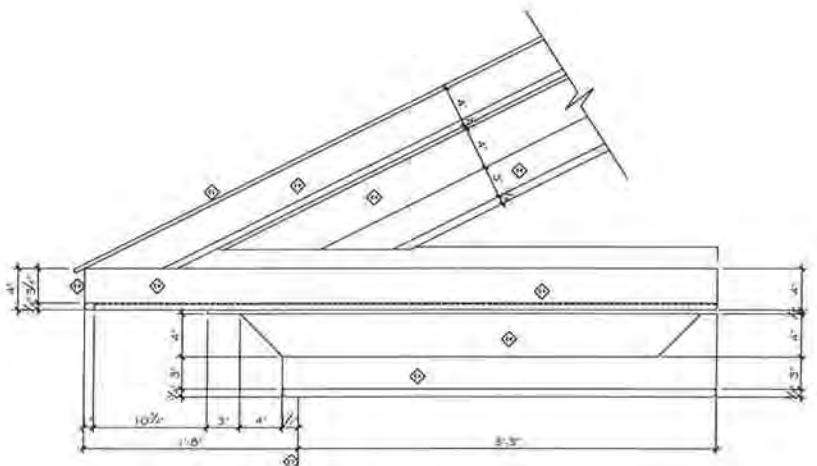




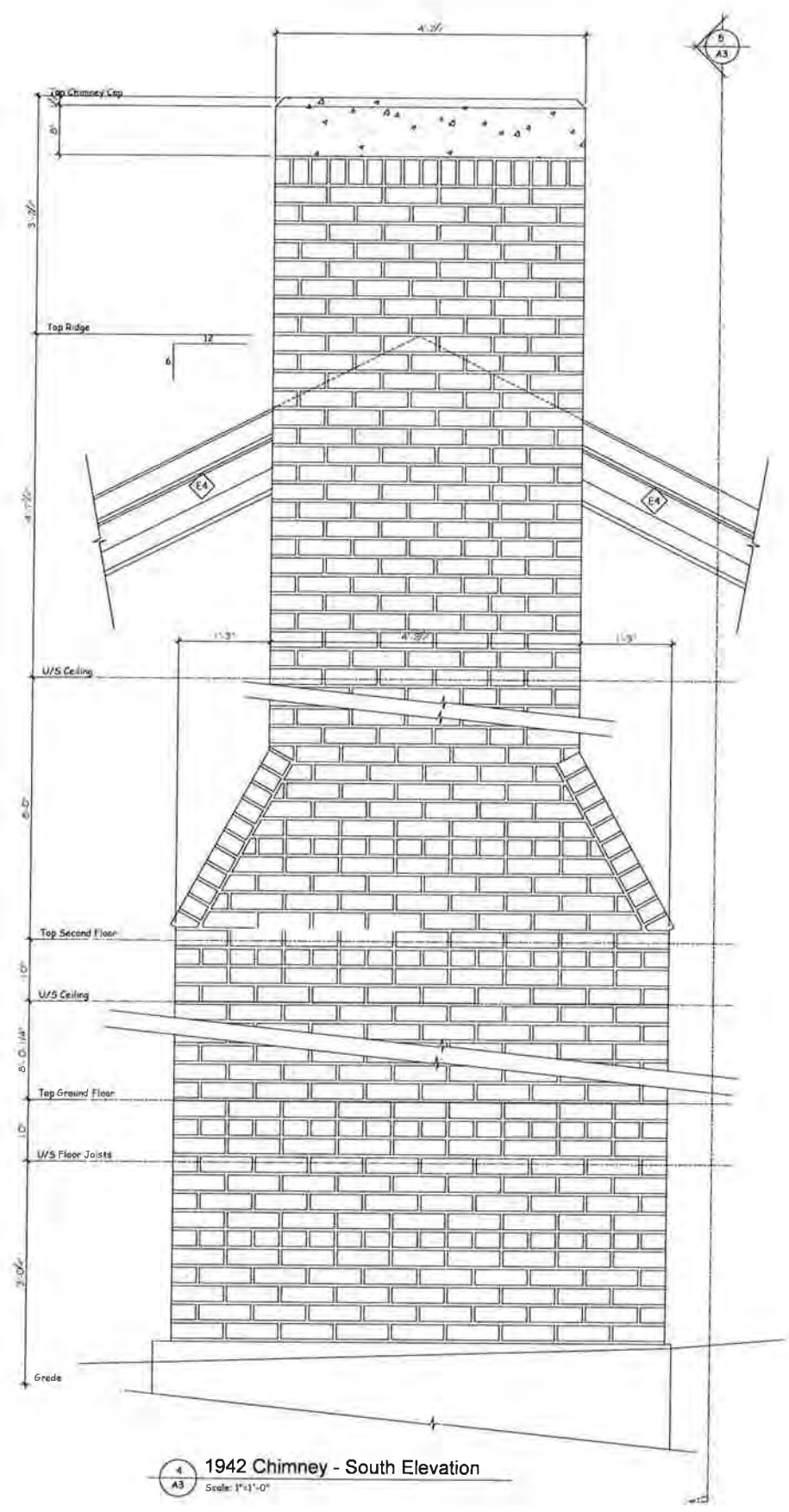
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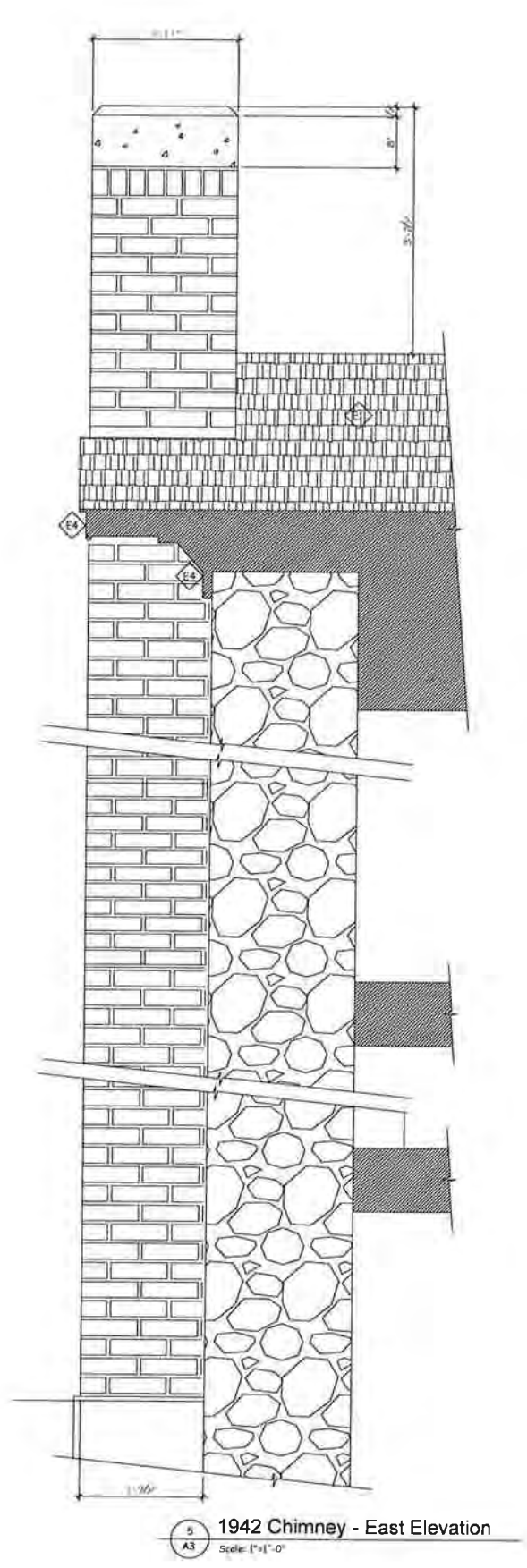
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3 Fascia Soffit Detail  
Scale: 1-1/2"=1'-0"



4 1942 Chimney - South Elevation  
Scale: 1"=1'-0"



5 1942 Chimney - East Elevation  
Scale: 1"=1'-0"

EXTERIOR FINISH SCHEDULE	
SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd. Colour by owner. Approved by Heritage Richmond Hill
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1	Issued for Client Approval	10 / 04 / 2017
No	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION		
Scott Rushlow	29770	BCIN
NAME	SIGNATURE	BCIN

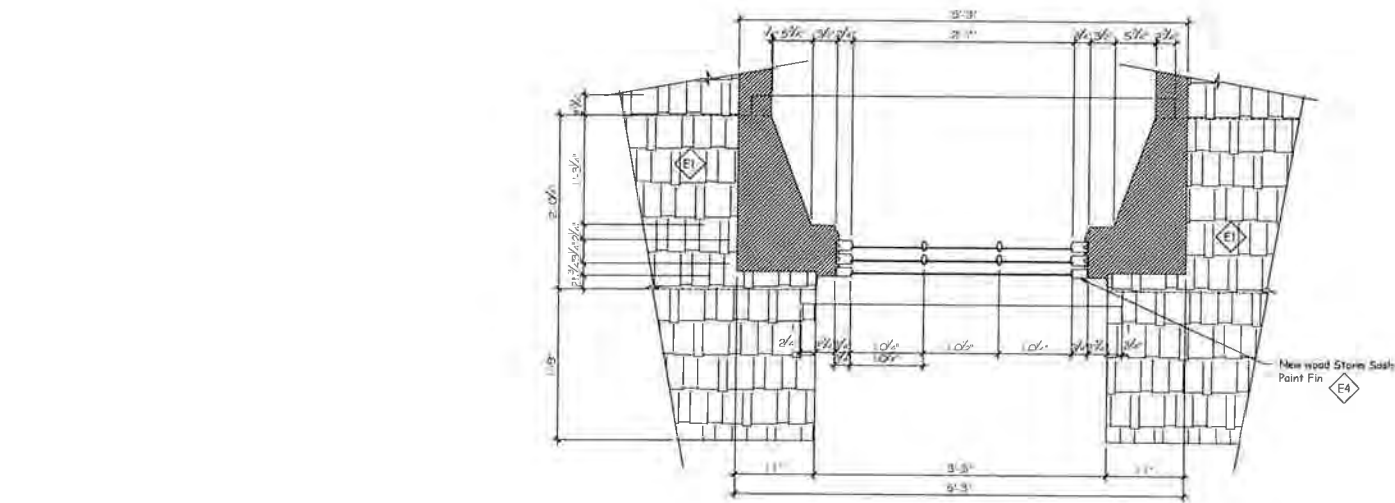
REGISTRATION INFORMATION		
Scott Rushlow Associates Ltd	35924	BCIN
FIRM		

**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 892-6595

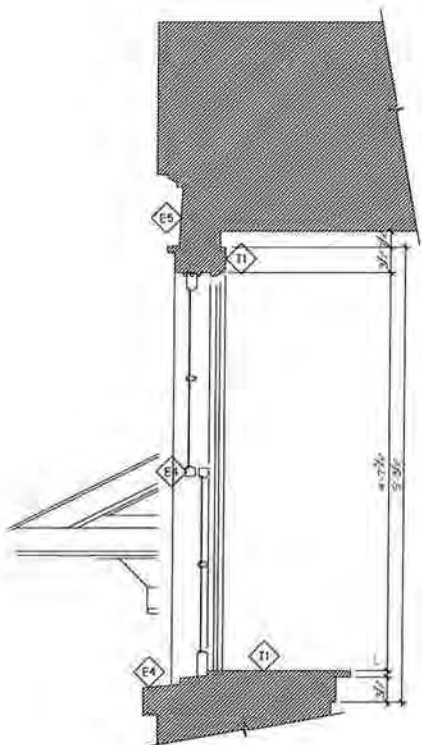
**PROJECT**  
**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc  
10961 Leslie Street  
Richmond Hill, Ontario

**DRAWING TITLE**  
**Fascia / Soffit Details**  
**Chimney Details**

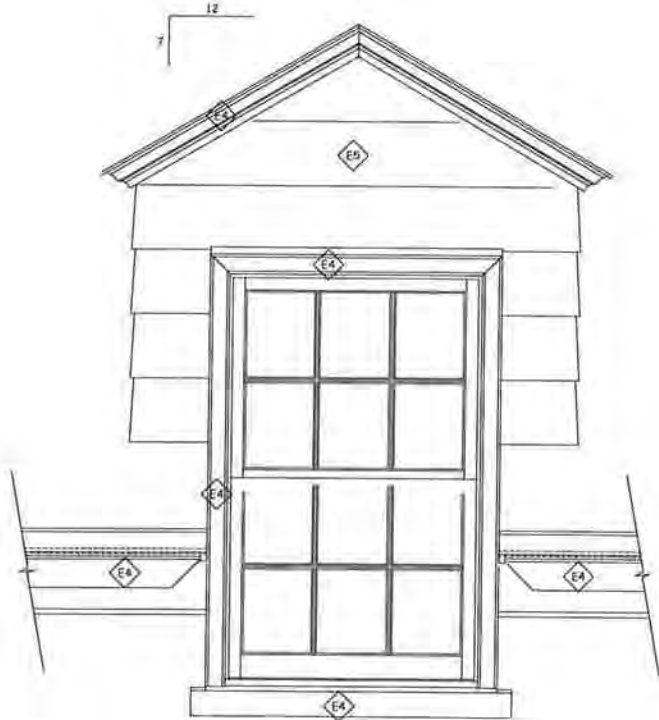
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Checked By:	



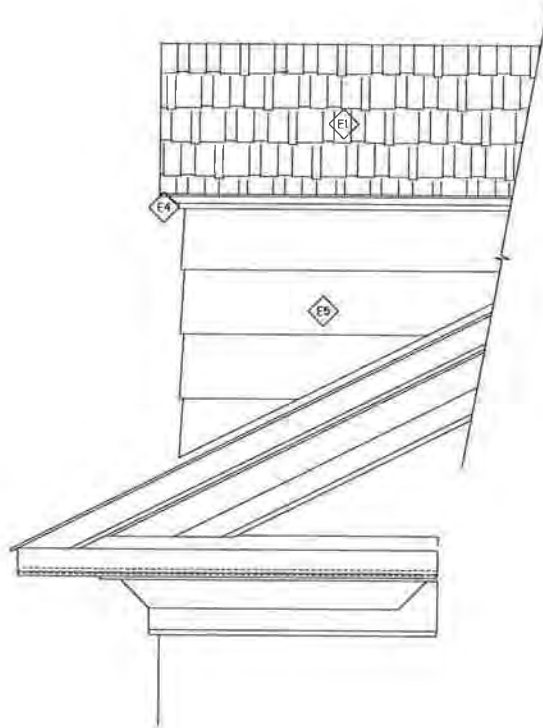
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3 1942 Dormer - Section  
Scale: 1/4" = 1'-0"



1 1942 Dormer - Elevation  
Scale: 1/4" = 1'-0"



2 1942 Dormer - Elevation  
Scale: 1/4" = 1'-0"

DETAIL  
NUMBER  
DRAWING  
NUMBER

#### EXTERIOR FINISH SCHEDULE

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Issued for Client Approval	10 / 04 / 2017	
No	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION		
Scott Rushlow	109700	BCIN
NAME:	SIGNATURE:	DATE:

REGISTRATION INFORMATION		
Scott Rushlow Associates Ltd	109700	BCIN
FIRM	DATE:	DATE:

**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

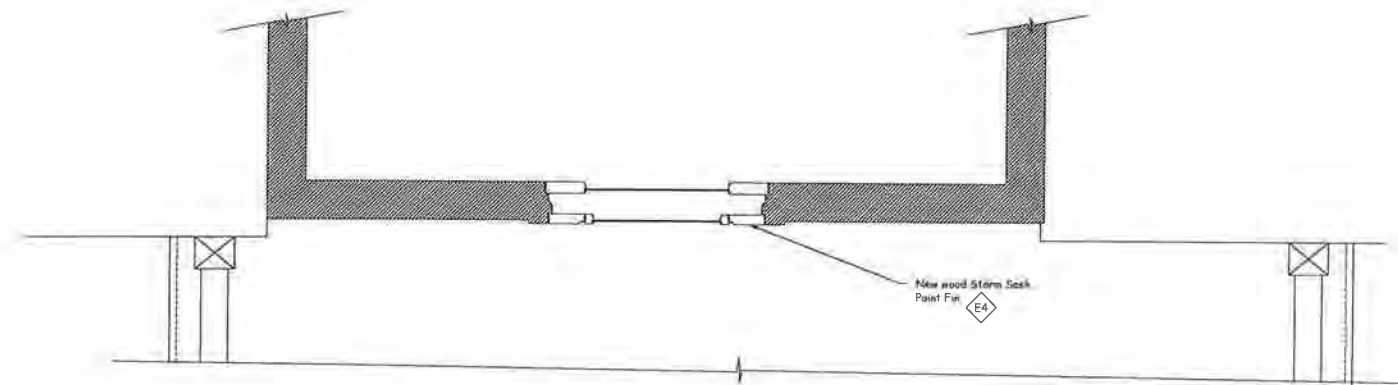
**PROJECT**  
**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

**DRAWING TITLE**

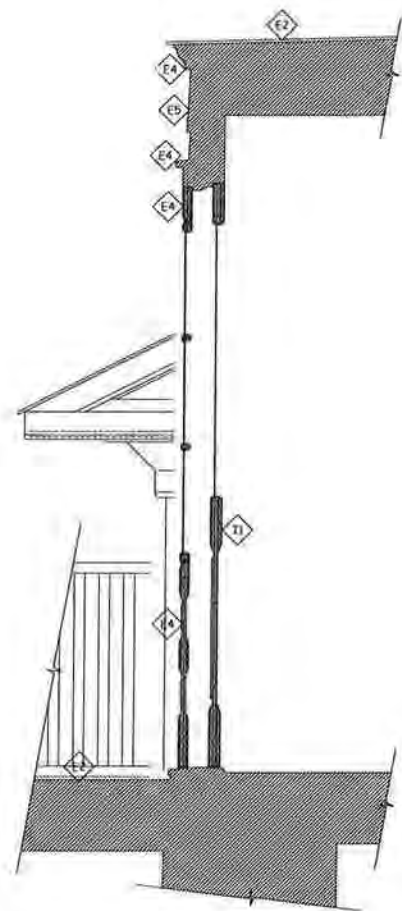
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Date:	Apr. 18, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

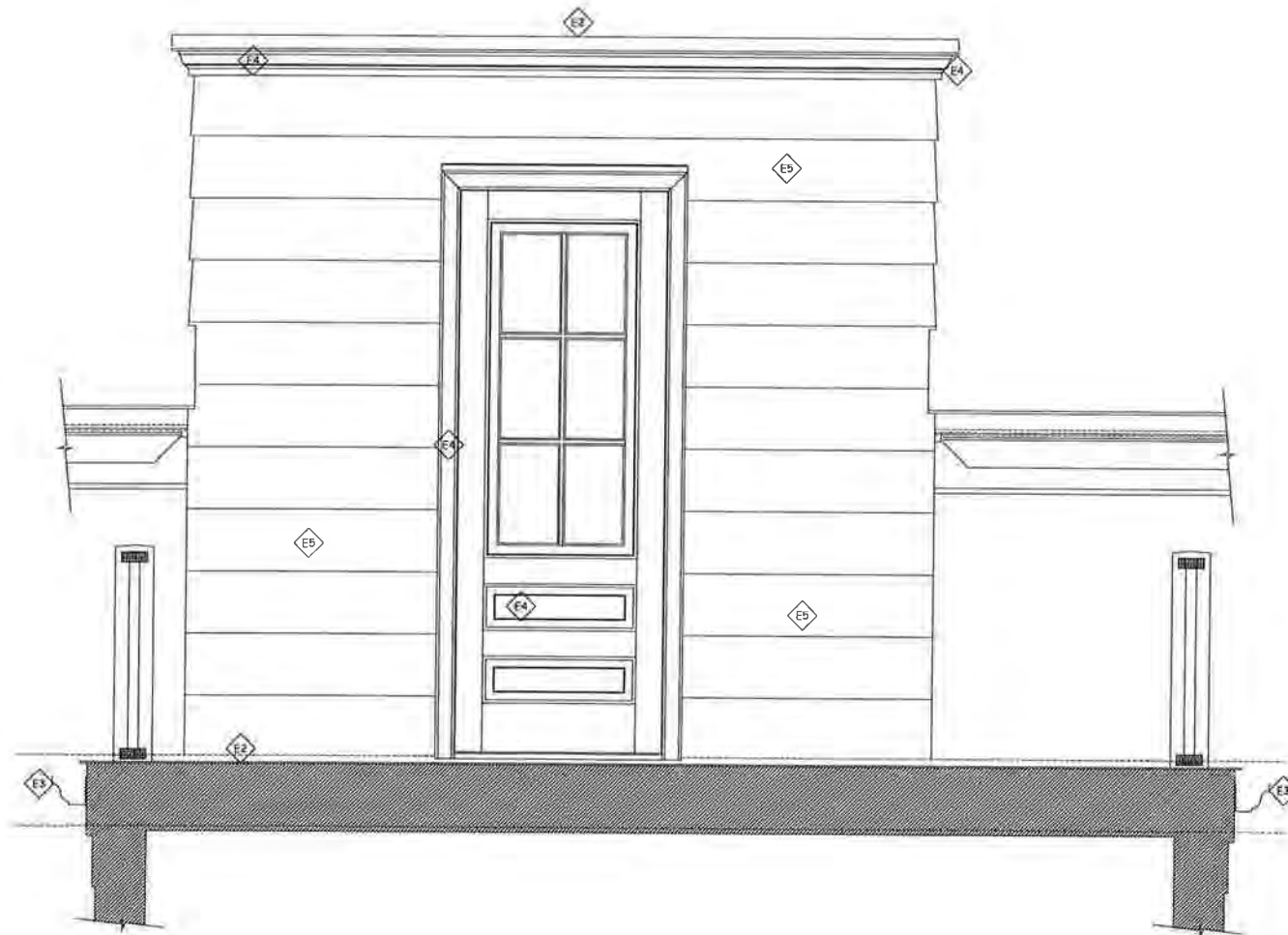
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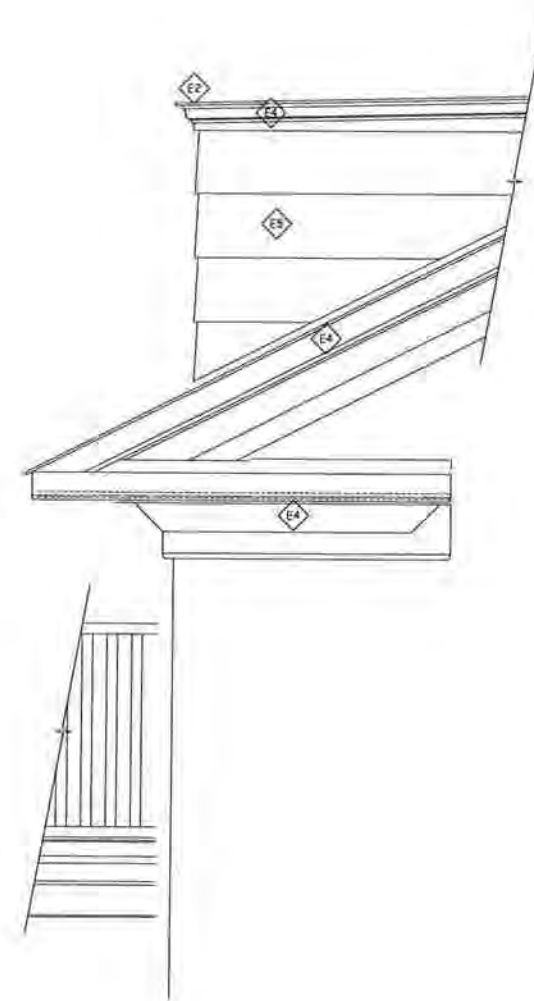
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3 1942 Dormer - Section  
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1 1942 Dormer - Elevation  
A5 Scale: 1"=1'-0"



2 1942 Dormer - Elevation  
A5 Scale: 1"=1'-0"

DETAIL  
NUMBER  
DRAWING  
NUMBER

#### EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd. Colour by owner, Approved by Heritage Richmond Hill
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No.	Description	Date
1	Issued for Client Approval	10 / 04 / 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Scott Rushlow	Signature
NAM:	BCIN

REGISTRATION INFORMATION	
Scott Rushlow Associates Ltd.	10024
FIRM	BCIN

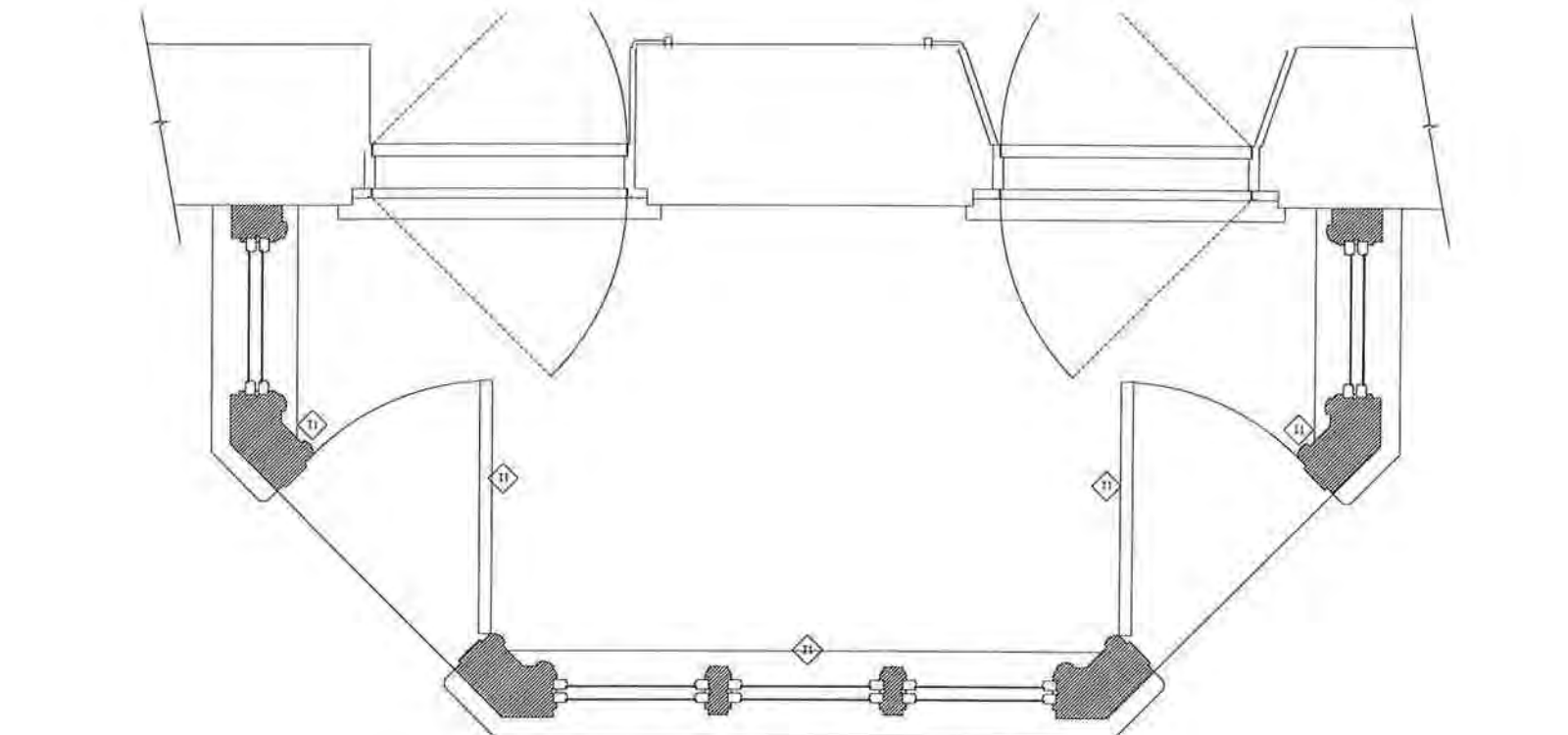
**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

PROJECT  
**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

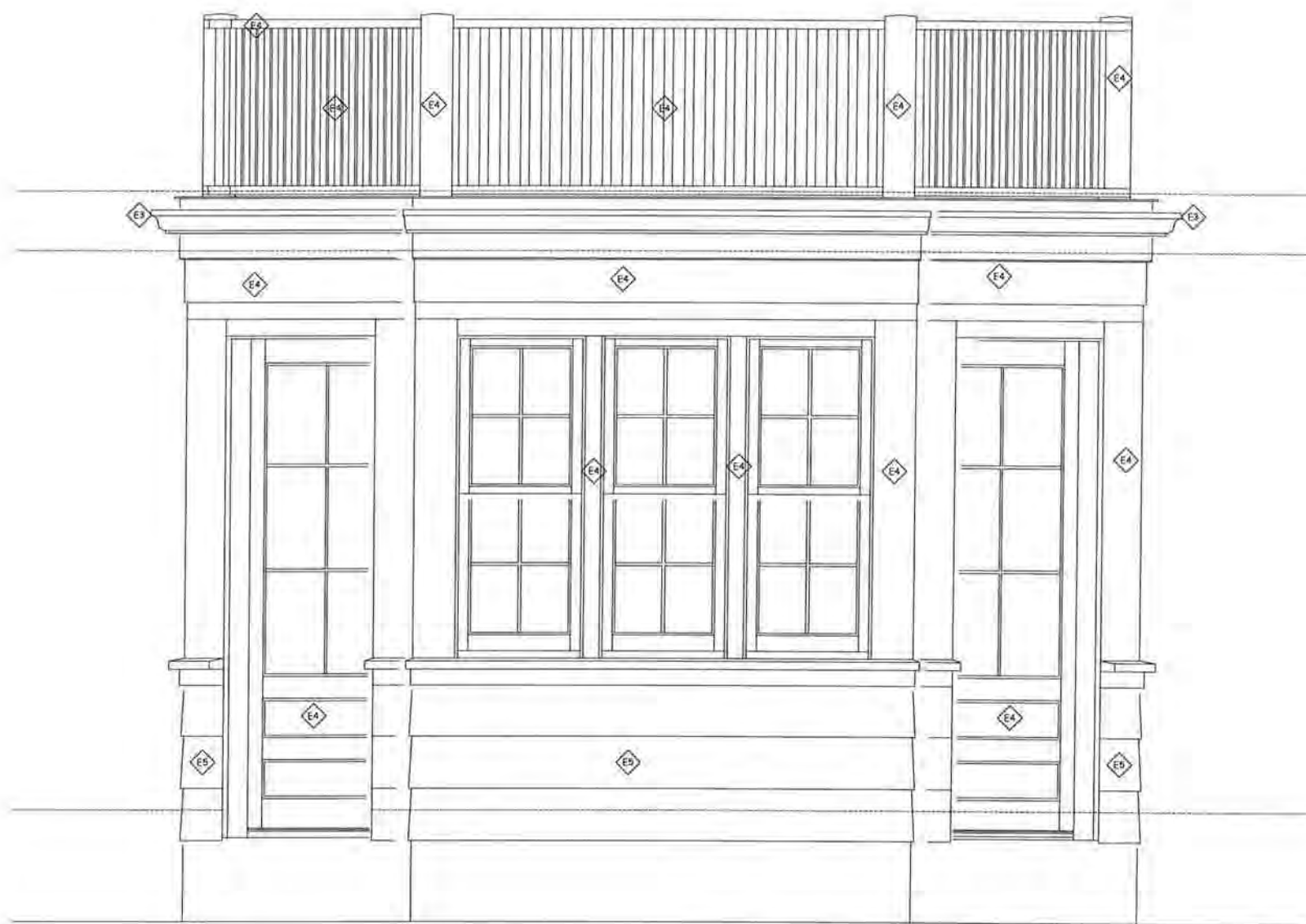
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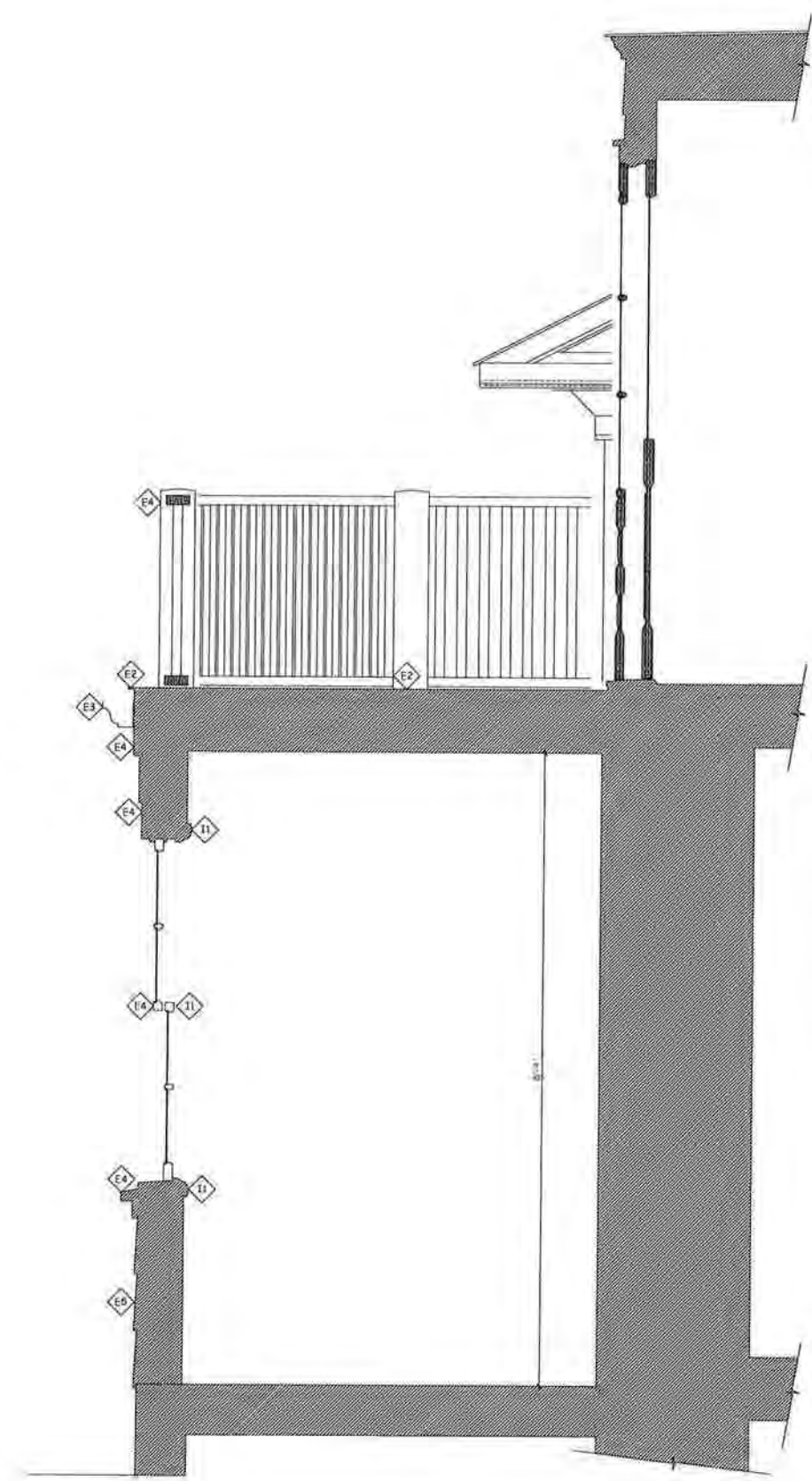
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Date:	Apr. 18, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		



3 1942 Chimney - South Elevation  
A6 Scale: 1/4" = 1'-0"



1 1942 Chimney - South Elevation  
A6 Scale: 1/4" = 1'-0"



2 1942 Chimney - Section  
A6 Scale: 1/4" = 1'-0"

DETAIL  
NUMBER

DRAWING  
NUMBER

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-Fin Flashings, Trims and Fittings as Req'd Colour by owner. Approved by Heritage Richmond Hill
E2	New Pre-finish Sheet Metal Roofing as per O.B.C. 9.24.13: Roofing C/W all Pre-Fin Flashings, Trims and Fittings as Req'd
E3	New Pre-finish Eaves trough C/W all Pre-finish Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill
E5	Existing 9" Horizontal Bevel wood siding to be restored and or replaced as required to match the original form. Scrape and sand siding and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill
E6	Existing Brick Masonry to be Restored. Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval

10 / 04 / 2017

No.	Description	Date
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		

QUALIFICATION INFORMATION

Scott Rushlow	Signature	BCIN
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
PRM	BCIN

SCOTT RUSHLOW  
associates Ltd

RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

PROJECT

Hilts / Bawden House

C/O Leslie Elgin Developments Inc.

10961 Leslie Street

Richmond Hill, Ontario

DRAWING TITLE

East Vestibule Details

Scale:	As Noted	DRAWING NO
Date:	Apr. 18, 2017	
Job No.		
Drawn By:	S.R.	
Checked By:		

A6



DETAIL  
NUMBERDRAWING  
NUMBER

## EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd. Colour by owner. Approved by Heritage Richmond Hill
E2	New Pre-fin alum Sheet Metal Roofing as per O.B.C. 9.26.13 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd
E3	New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd
E4	EXTERIOR WOODWORK (General Note) Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrape and sand woodwork and make ready for paint finish as needed Exterior Point Finish: Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner. Approved by Heritage Richmond Hill
E5	Existing 9" Horizontal Bevel wood siding to be restored and or replaced as required to match the original form. Scrape and sand siding and make ready for paint finish as needed Exterior Point Finish: Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner. Approved by Heritage Richmond Hill
E6	Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins
E7	Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

1	Issued for Client Approval	10 / 04 / 2017
No	Description	Date

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## QUALIFICATION INFORMATION

Scott Rushlow 29726  
NAME SIGNATURE IBCIN

## REGISTRATION INFORMATION

Scott Rushlow Associates Ltd 45994  
FIRM IBCIN

**SCOTT RUSHLOW**  
associates Ltd

RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

## PROJECT

**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

## DRAWING TITLE

**Screen Room Details**

Scale: As Noted DRAWING NO.

Date: Apr. 18, 2017

Job No.

Drawn By: S.R.

Checked By:

**A7**

Existing posts to be replaced with new 4" X 4" P.T. spr. structural columns to be re-clad with 3/4" thk Pine boards to match Existing Point Fin (typ all) E4

## 3 Screen Room - Plan

Scale: 1/4"=1'-0"

Ex 2" X 10" Shaped Rafters and deck planking to Remain. Replace as required to match existing Point Fin

Ex Fascia / Beam cladding to be restored. Point Fin E4

Ex 1-3/4" X 5-1/4" solid pine frame members to be restored. Point Fin E4

Ex decorative cross bracing to be restored. Point Fin E4

Ex Screen panels to be restored. Point Fin E4

Existing posts to be replaced with new 4" X 4" P.T. spr. structural columns to be re-clad with 3/4" thk Pine boards to match Existing Point Fin (typ all) E4

Ex Concrete Floor System to remain as is

Ex O.W.S.J. Floor Joist system to remain as is

## 2 Screen Room - Section

Scale: 1/4"=1'-0"

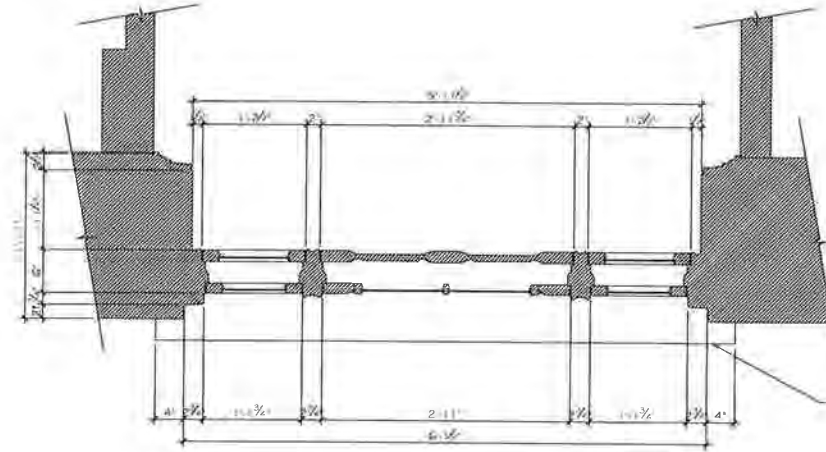
## 1 Screen Room - Elevation

Scale: 1/4"=1'-0"

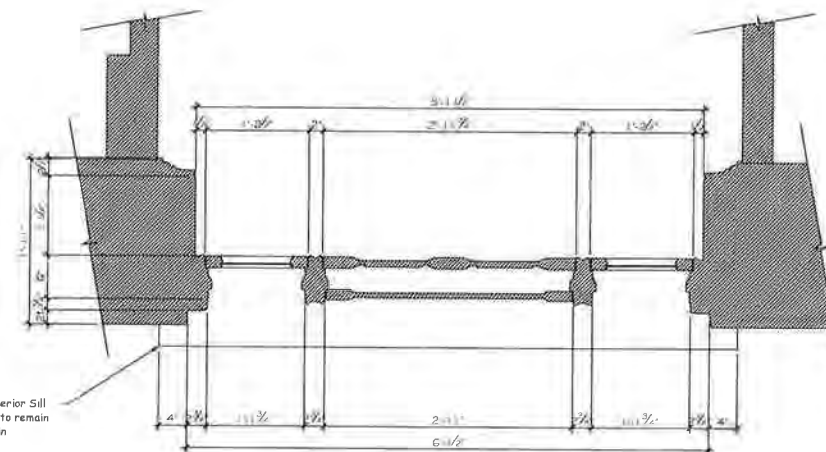
DETAIL  
NUMBER  
DRAWING  
NUMBER

### Window & Door Refurbishing (General Notes)

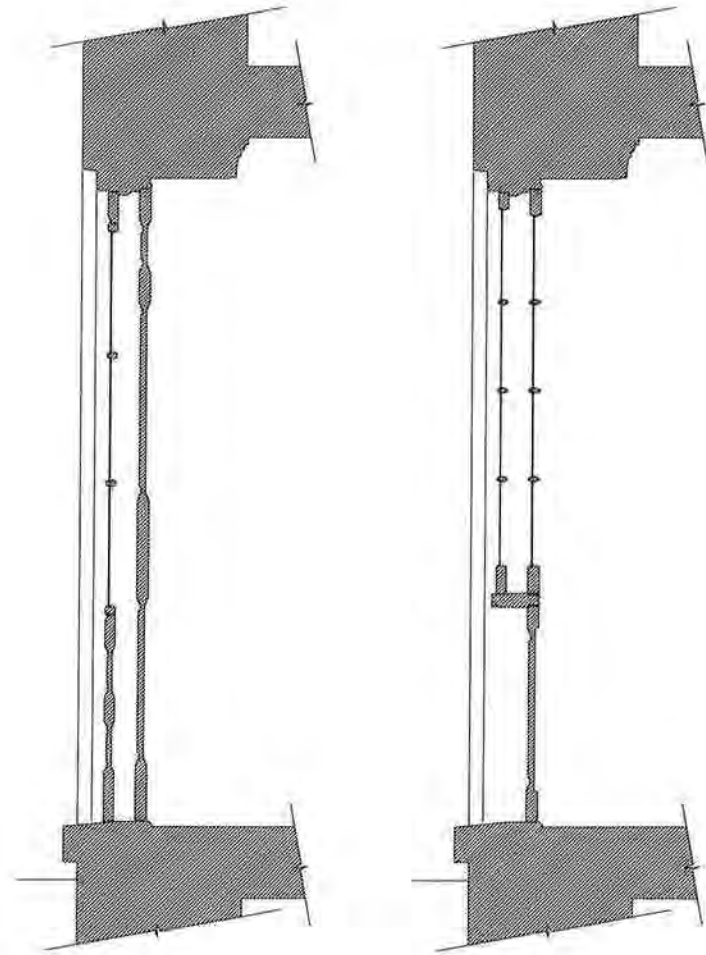
- 1) Initial inspection by qualified window restoration contractor to determine the general condition of the existing heritage windows and make recommendations for restoration on a window by window basis. Restoration approach to be approved by designer prior to commencement of the work.
- 2) Refurbish and/or replace any wood jambs, hanging stiles, sills, lug sills, sash and muntin bars as required.
- 3) Remove any loose or deteriorated glazing putty, remove glass panel and stops. Clean glazing channel. Linseed oil the wood channel, oil base paint prime sash, reinstall glass panel in a bed of silicone caulking c/w glazing stops and glazing putty as required.
- 4) Paint finish after glazing putty has fully cured as required.



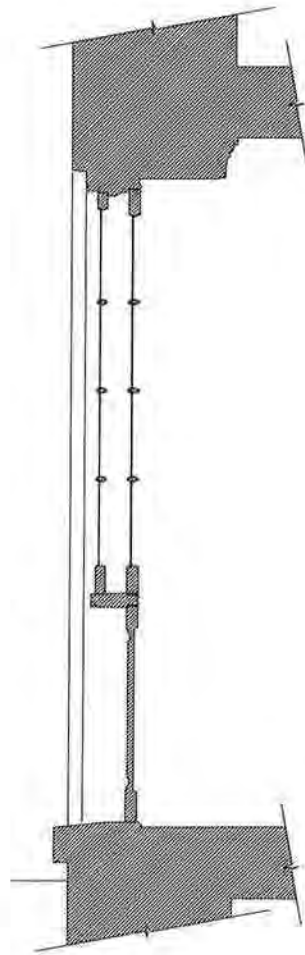
4 Front Entrance - Plan  
Scale: 1/4" = 1'-0"



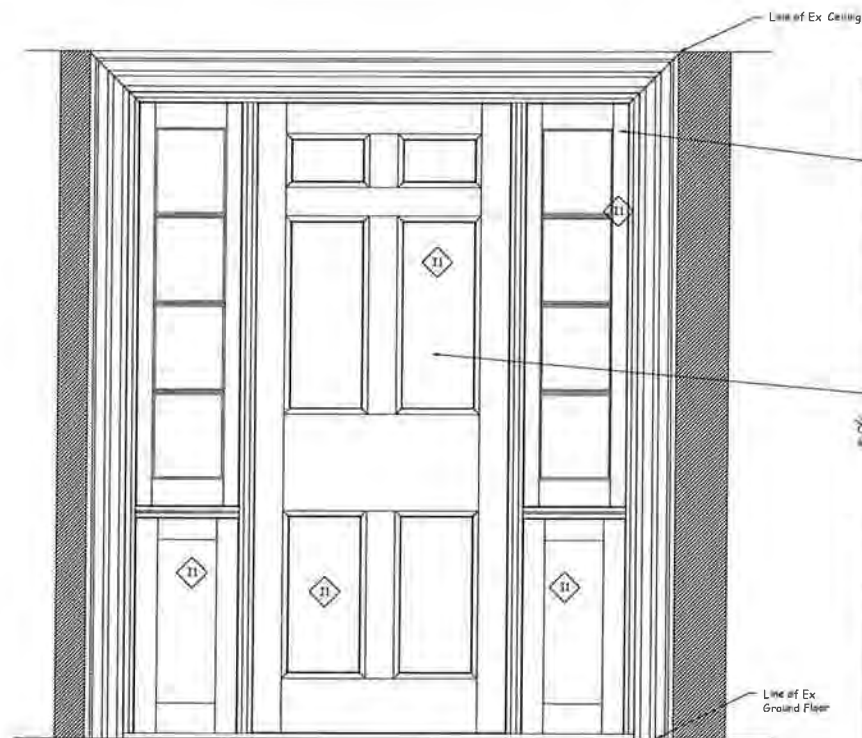
5 Front Entrance - Plan  
Scale: 1/4" = 1'-0"



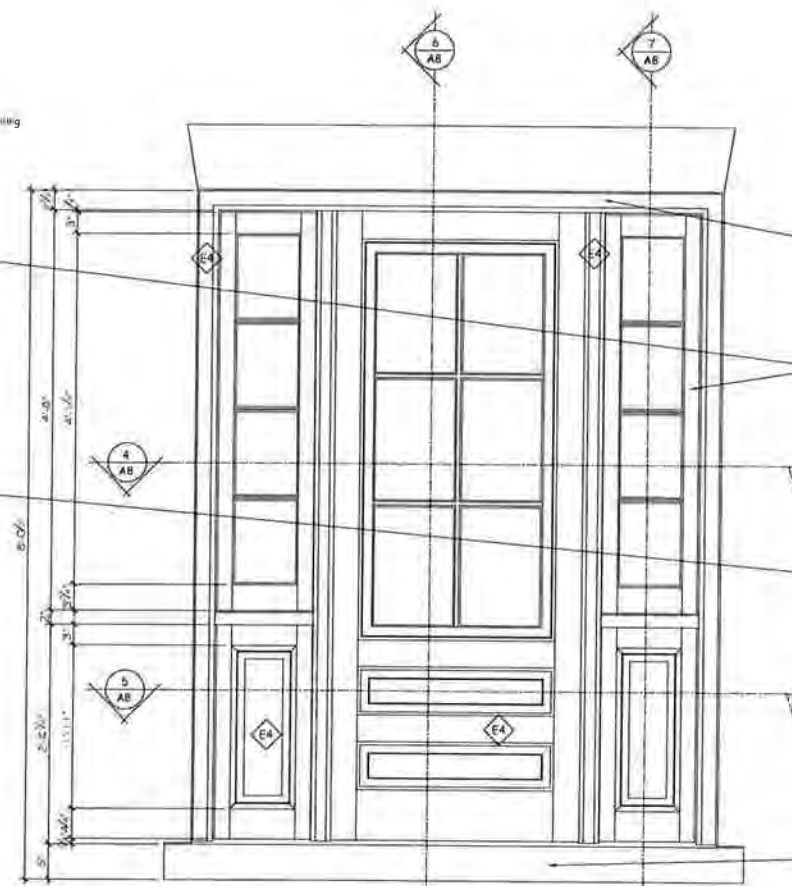
6 Front Door - Section  
Scale: 1/4" = 1'-0"



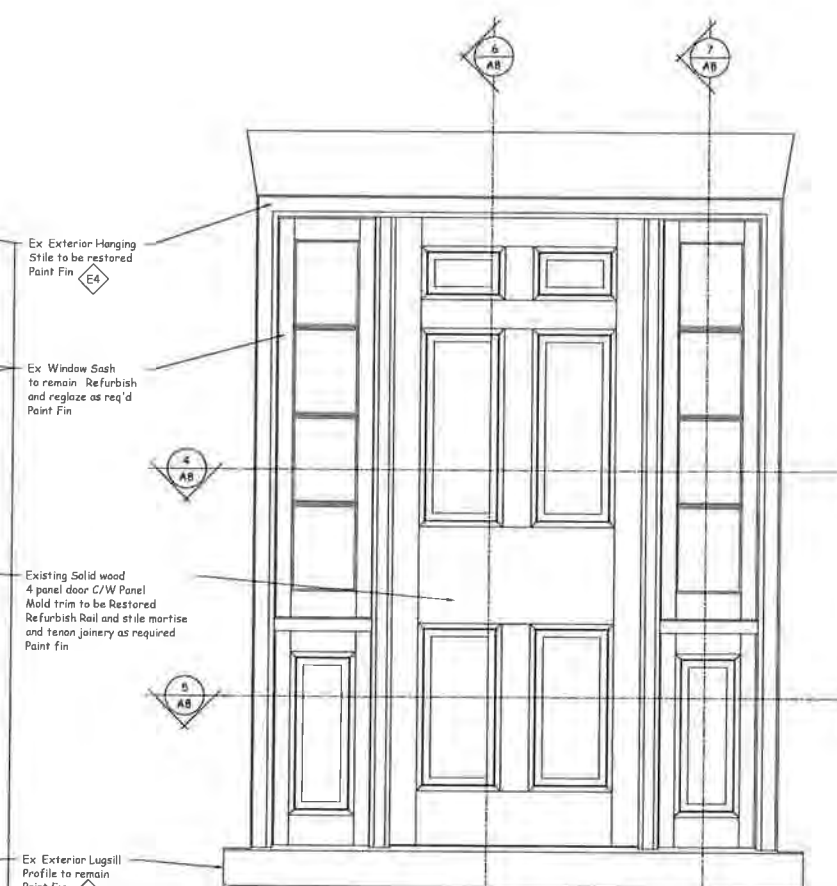
7 Front Door - Section  
Scale: 1/4" = 1'-0"



D101 Front Door - Interior Elevation  
Scale: 1/4" = 1'-0"



D101 Front Storm Door - Exterior Elevation  
Scale: 1/4" = 1'-0"



D101 Front Door - Exterior Elevation  
Scale: 1/4" = 1'-0"

### EXTERIOR FINISH SCHEDULE

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Issued for Client Approval 10 / 04 / 2017  
No Description Date

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### QUALIFICATION INFORMATION

Scott Rushlow  
NAME SIGNATURE DATE  
RUSHLOW

### REGISTRATION INFORMATION

Scott Rushlow Associates Ltd  
FIRM REG. NO. 19094 REG. IN ONT.

**SCOTT RUSHLOW**  
associates Ltd  
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

### PROJECT

**Hilts / Bawden House**  
C/O Leslie Elgin Developments Inc.  
10961 Leslie Street  
Richmond Hill, Ontario

### DRAWING TITLE

**Front Entrance Detail**

Scale: As Noted DRAWING NO.

Date: Apr. 18, 2017

Job No.

Drawn By: S R

Checked By:

**A8**