# **CONSERVATION PLAN**



# HILTS/BAWDEN HOUSE 'COLDEN' TOWN OF RICHMOND HILL

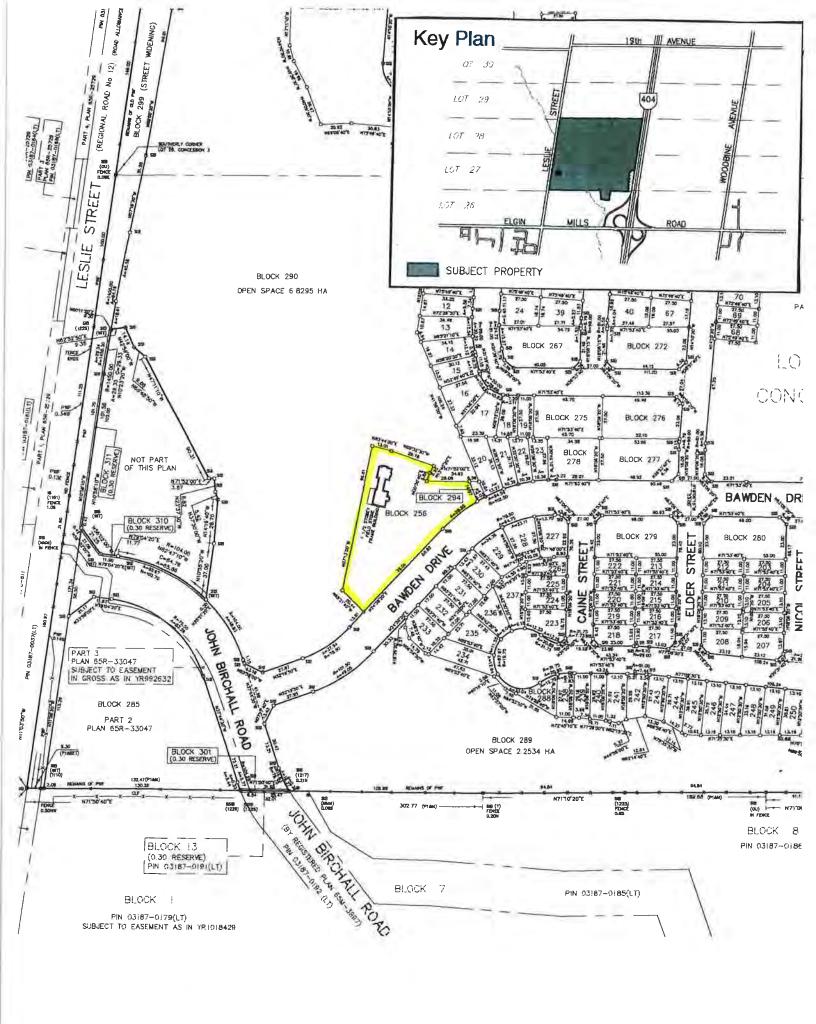
January 2017

Prepared for: Leslie Eigin Developments Inc.

Prepared by:
Scott Rushlow Associates Ltd.
Heritage Designer

# **CONTENTS**

- 1) Key Plan
- 2) Communication from Wayne Morgan
- 3) Cost Estimate for restoration work
- 4) Cover sheet
- 5) Construction Notes and Plot Plan
- 6) Drawings A1 to A18





# **WAYNE MORGAN** HERITAGE PLANNER

PO Box 1203, 21 Land's End Sutton West, Ontario L0E 1R0

(905) 722-5398 wayne.morgan@sympatico.ca

### **COMMENTS**

Project:

Hilts/Bawden House 10961 Leslie Street Richmond Hill, Ontario Conservation Plan No. 12 - 8a

Drawings Reviewed: Conservation Plan, dated April 10, 2017, except as noted, by Scott

Rushlow Associates Ltd consisting of:

Notes:

Drawing Schedule Construction Notes Plot Plan

dated April 17, 2017

A1- A2:

Elevations

A3:

Details - Fascia/Soffit, Chimney

A4 - A5:

**Details - Dormers** 

A6:

Details - East Vestibule

A7:

Details – Screen Room

A8:

Details – Front Entrance

A9 - A11:

A12:

Details – Windows

A13 - A14:

Foundation Plan

A15:

Floor Plans

Roof Framing Plan

A16:

**Building Sections** 

A17 – A18:

Interior Details

Town Review:

E-Mail dated from Joanne Leung, Manager of Urban Design and Heritage

dated April 10, 2017

Date:

April 17, 2017

Background: In my revised and updated Cultural Heritage Impact Assessment dated November 2015, in respect of a Conservation Plan, I recommended:

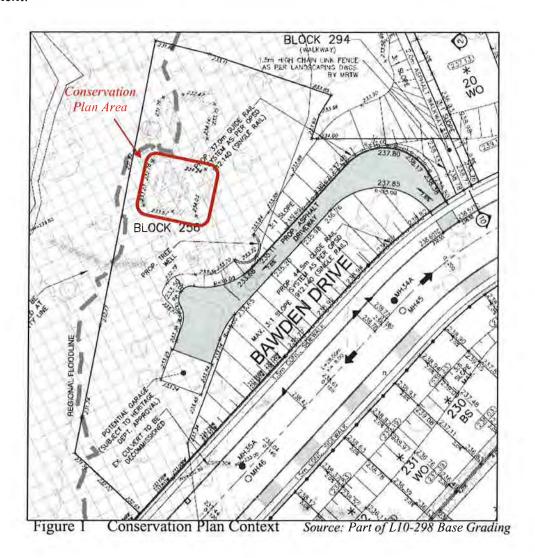
> A Conservation Plan should be secured only if the proposed use of the Hilts/Bawden House changes from residential or if significant alterations are required to the House if it remains residential. Such a Conservation

Plan, which would be subject to municipal approval, would provide details of how the building will be conserved and readapted and how any impacts on the heritage attributes of the House will be addressed. The Plan should include drawings and specifications and should address, among other matters:

- a. Exterior conservation work, including masonry repairs and restoration work, storm windows, roofing and how services such as gas, water, sewer and electrical will be provided to the House; and
- b. Interior conservation and rehabilitation work.

Town Council, in approving the draft plan of subdivision, required the preparation of Conservation Plan.

# Conservation Plan Context:



### Conservation

Plan Area:

The Conservation Plan prepared by Scott Rushlow applies only to the portion of the building specified as having heritage attributes in Section 6.4, the Statement of Cultural Heritage Value, of my report dated November 2015. Mr. Rushlow has revised the 'Notes' drawing to show the Conservation Plan Area. The Conservation Plan Area is also shown in Figures 2 and 3 below.



Figure 2 2016 Aerial Photo Source: York Maps





Figure 3
West Elevation
Source: Drawing A1

### Comments:

I have reviewed the Conservation Plan and of the opinion that the Plan provides for the conservation of the Hilts/Bawden House consistent with my November 2015 recommendation and with the *Standards and Guidelines for the Conservation of Historic Places in Canada* prepared by Parks Canada.

The Conservation Plan generally provides for the repair, rather than replacement, of heritage fabric associated with the heritage attributes of the House. Where the fabric cannot be repaired, such as the veranda posts, the Plan provides for the replacement of fabric using similar materials that replicate the appearance of the heritage attribute.

I note that the colours to be selected for exterior painting are to be done in consultation with Heritage Richmond Hill. The Plan no longer references Heritage Aurora.

Mr. Rushlow has revised the 'Notes' to show the provision of services such as gas, water and electricity, through the newer addition to the north, and not through the section of the building that is the subject of the Conservation Plan.

Some of the upper floor windows have exterior aluminum storm windows which are inconsistent with the heritage character of the building. Mr. Rushlow has agreed with the removal of the aluminum storm windows and their replacement with traditional wood storms. He is in the process of preparing such drawings.

# Recommendations:

I recommend that the Conservation Plan prepared by Scott Rushlow Associates Ltd including notes, dated April 17, 2017, and drawings A1 to A18, dated April 10, 2017, be approved subject to:

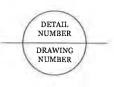
- 1. The provision of drawings for traditional wood storm windows for the upper floor windows, and
- 2. The attachment of these comments to the Conservation Plan.

Wayne Morgan Wayne Morgan

# 

# **SCOPE OF RESTORATION WORK:**

Trade / Description	Unit Cost	Qty	Ext'd Cost
1) Roofing, #300 Asphalt	\$2.50/ft2	2,432ft2	\$6,080.00
<ol><li>Flat Roofing</li></ol>	\$25.00/ft2	165ft2	\$4,125.00
3) Fascia/Soffit Restoration	\$100.00/ft	232ft	\$23,200.00
4) Masonry Pointing	\$20.00/ft2	1,890/ft2	\$37,800.00
5) Dormer Restoration	\$1,500.00	6	\$9,000.00
6) Window Rest./inc storms	\$2,900.00	24	\$69,600.00
7) Door Rest./inc storms	\$3,500.00	5	\$17,500.00
8) Verandah Reconstruction	\$125.00/ft2	346ft2	\$43,250.00
9) Bay Restoration			\$12,500.00
<ol><li>Shutters Replacement</li></ol>	\$475.00/ea.	10	\$4,750.00
11) Chimney Restoration	\$3,750.00	1	\$3,750.00
12) Eaves Trough	\$20.00/ft	200	\$4,000.00
13) Exterior Painting (Fascia			\$27,500.00
14) Interior Trim Restoration	(Casing, Baseboard, do	ors, stairs)	\$28,000.00
15) Interior Finishing (millwo	ork only)		\$25,000.00
Subtotal			\$316,055.00
15% Contingency			\$ 47,410.00
Subtotal			\$363,465.00
H.S.T. 13%			\$ 47,250.45
Total Estimate (Heritage Res	toration only)		\$410,715.45





# The Hilts/Bawden Farmhouse Conservation Plan

1	Issued for Client Approval	10 / 04 / 20
No.	Description	Dai
this des	dersigned has reviewed and takes r ign, and has the qualifications and ments set out in the Ontario Buildir r	meets the
(	QUALIFICATION INFORM	ATION
Scott Rus	hlow	29720
NAME.	SIGNATURE	BCIN
I	REGISTRATION INFORM	ATION
	blow Associates Ltd	3599/
FIRM		BCIN
a s		LOW Ltd (905) 852-5595
PROJE	CI	
Н	ilts / Bawden H	Iouse
C	O Leslie Elgin Developme	ents Inc.
	10961 Leslie Street	

# Cover Sheet

Richmond Hill, Ontario

Scale:	DRAWING NO.
Date: Apr. 18, 2017	
Job No	
Drawn By: S.R	
Checked By:	

### CONSTRUCTION NOTES (unless otherwise noted)

All construction to comply with these plans and specifications and to the Ontario Building Code (current edition) and ties having jurisdiction. These requirements are to be considered minimum

### (IA) TRUSS ROOF CONSTRUCTION

Min. No #300 Asphalt shingles (as per elevations) 1/2" spruce ply exterior sheathing with "H" elips. Approved pre-ong incered wood trusses (@ 24" o/c max (trusses to be installed as per manufacturers specifications) Approved caves protection to extend 3'-o" from edge of mod and min 1'-o" beyond inner face of exterior wall. Pre-finished aluminum caves-through, fascia (or as per elevations), vented soffit and RWL. Attle ventilation 1:300 of insulated celling with 50% at caves. Attic insulation R-50 and approved vapour barrier. 5/8" int. dr.wall finish or approved

### CONVENTIONAL ROOF CONSTRUCTION

CONVENTIONAL ROOF CONSTRUCTION

Min No. 3200 Asphall shingles (as per elevations) 1/2" spruce ply exterior sheathing. 2"X4" Spr. Cross Purlins @
2'-0" O/C Min 2" x 10" spruce rafters @ 1'-4" o/e (see plan for rafter size) Approved caves protection to extend
3'-0" from edge of roof and min 1'-0" beyond inner face of exterior wall. Pre-finished aluminum eaves-through, fascia
(as per elevations), vented soffit, and RWL. Attie ventilation: 1:200 of Insulated celling with 50% et eaves
(pre-finished aluminum ridge vent at sloped celling as required) Roof insulation min R-30 batt insulation and
approved vapour barrier at sloped cellings of win 12 5" air space between of seck and top of insulation. 5/8" int
drywall finish or approved equal. Horizontal celling as required 2" x spruce rafters @ 1'-4" o/e (see plan for celling
joist size and connection details) Mat celling insulation, min R-50 batt insulation and approved vapour barrier. 5/8"
int drywall finish or approved equal

# Existing Wall, Floor, Ceiling or Roof structure to remain. Contractor to refurbish existing structural components as required, to maintain the original performance level. (Modify as per plan)

(111) Existing walls to be removed. Contractor to provide temporary bracing as required prior to demolition

### FRAME WALL CONSTRUCTION (2"x6")

Exterior siding or other as per clevations. (horizontal wood siding c/w 1"x3" vertical spruce strapping @ 1"-4" o/c, vertical wood siding c/w 1"x3" horizontal spruce strapping @ 2"-0" o/c). Typar sir barrier or equal c/w pro-finished aluminum drip at siding/foundation wall junction (typ ) 1/2" spruce ply exterior sheathing. 2 2'65 "spruce stude @ 1"-4" o/c (provide-2"\60") plates; 2-top, 1 bottom; R-24 batt insulation and approved vapour barrier. 1/2" drywall finish or approved equal NOTE; For two story volume spaces from 10"-0" to 18"-0" max high walls provide 2-2"\60"\60" spruce stude @ 1"-4" o/c, c/w 1/2" spruce ply sheathing. Provide 2\60" solid wood blocking @ 4"-0" o/c vertically NOTE; Omit 3/4" thick spruce strapping where vinyl siding is used

### FRAME WALL CONSTRUCTION (2"x4")

Exterior siding or other as per elevations (horizontal wood siding e/w "S-3" vertical spruce strapping @ 1'-4" o/e, vertical wood siding e/w "Y-3" horizontal spruce strapping @ 2'-0' o/e) Approved shoutding paper e/w pre-finished aluminum drip at siding/foundation wall junction 1/2" spruce ply exterior shoutding "2'v4" spruce states @ 1'-4" o/e. provide 2"x4" plates; 2-top, 1 bottom)

### 4" MASONARY VENEER CONSTRUCTION (2"x6")

4" masonary veneer (as per elevations) 1" air space 7/8"x7"x0 03" galvanized metal ties @ t'-4" o/e horizontal and 2" of vertical. Typer air barrier c/w bottom course flashing up min 6" behind air har'er. Provide weep holies @ 2" e" o/e bottom course and over openings 1/2" space ply setterior sheathing 2" sk" spruce stude de 1" a' o/e.

(provide 2' x6' plates; 2-top, 1-bottom). R-24 but involution and approved various burrier; 1/9'' deywalf finish or approved equal. NDTE; for two stopy values apaces from  $10^{10}$  C in  $16^{10}$  max. high walls provide  $2^{10}$  2'  $10^{10}$  c  $10^{10}$  C

### 4" MASONARY VENEER CONSTRUCTION (2"x4")

4" maximary venior (as per circuitions). 1" sir space. 7/8" v7" s0.03" galvanized metal ties @ 1" 4" o/c horizontal and 2" 0" o/c vertical. Approved sheathing peper e/w bettern course flashing up min. 6" behind sheathing peper. Provide seeps black as 2" 8" of externo course and over operating. 1/2" spruce ply exterior sheathing. 2" 4" spruce studa 6" 1" 4" o/c. (provide 2" 4" plates; 2-top, 1-bottom).

For learning partitions 2"  $\times 4$ " aprice stude of 1'-4" n/e for 2 stureys and 1'-0" n/e for 3 storeys. (provide x'x'' plates; 2-tag, 1-bottom, e/w 2'x'4" aprice blocking w 4' in n/e horizontal). 1/2" drywall finish each side. NOTE; 2" x''0" aprice stude w 1'-4" n/e puritions where noted on plan.

2"x4" spruce studs (\* 1'-4" o/c. c/w. 1/2" drywall finish each side. Provide 2"x6" studs (\* 1'-4" o/c. c/w. 1/2" drywall finish each side where noted plan (for all partitions provide full width plates; 2-top, 1-bottom).

### POUNDATION WALL/POOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4).

Approved continues draining layer. Bitumen dampeoufing. Continuous poured concrete foundation wall [42,Mpa) e/w Steel reinforcing as per note. (Soundation plan for wall thickness). #15/firl building paper moisture barrier. 2-34 "spane status #1 = 14" of floor in ceilight, Octome plate of what proceding material). Bit is but insulation e/w approved poly supour barrier. 2"x6" all plate e/w 1/2" dis x8" long, Anchor boths @ min 5"\to 0" of floor floor in ceilight plate of soundation wall. Increase or solving hydrox materials and plate when required). 8" Onlet constitues all plate when required. 8" Onlet constitues the plate of floor soundation wall. The innovation of plate and only only one of plate even for the plan for flooring width). Footing e/w 2-15 mm bar set in line with outside face of foundation wall above and up 2" from u/s of socials, 4" did weeping till set in min 8" layer crashed drain rock over and around weeping life.

NOTE: Foundation wall e/w 15 mm bar get "4" o/c cs. w/s);

### FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9 15 3, and 9 15 4)

Continous pound concrete foundation wall (graMpa/with fibre) e/w Steel Reinforcing as per note. (see foundation plan for wall thickness). Granular fill as required on both sides of foundation wall, compacted as required. \*\*Steel continues from concrete footing set on natural undisturbed soil or compacted engineered in with min. bearing capacity of groto pet. or greater. (see foundation plan for footing with). Footing e/w.2+15 mm bar set in this with outside face of foundation wall above and up 2\* foun w/s of footing. \*\*Note: Foundation wall e/w ign bar get 12m bar

### BEAM POCKET or 12"x8" poured concrete nib walls. Min 5½" and bearing

TEP FOOTING CONSTRUCTION-(see O B C 9.15.3 8) Min horizontal step 2'-0". Max vertical step 2'-0" for still soil and 1'-4" for sand and gravel.

### INTERIOR WOOD FRAMED BEARING WALLS AT FOUNDATION

2°x6° spruce stude IP 1'x1" (pfc. (provide) 2°x6° falicit; 2×top. 1-bottom, 2°x6° spruce blocking W q'x0° o/c berizontal). Stud wall set on a course 6° thick unit block inasenary-c/w 1/2° ifa. x 8° long anchor bolts ge min 2'-10° of emac. (Hamprosing material between masonary and bottom plate. Pill block carvities with concrete.) 8 thick x 1'-10° wide continuous strip concrete contents facility set on natural undisturbed or compared engineered. Ill with min. bearing capacity of 5000 psl. Foreing c/w 2-10mm bar set in line with outside face of block above add up 2° from u/s looting.

### 1"x3" spruce strapping on both sides of steel beam

### SUBFLOOR, JOISTS, STRAPPING AND BRIDGING

SUBSIDOR, JUSIS, S. STRAPPING AND BRIDKING
Min. 3/4" TSG sprace fly subsides. 2" x sprace floor John as required, (see plan for joint also and spacing).
[NOTE: For pre-engineered Joint sytems install as per manufacturers specifications). Solid bridging @ 4"-0"
ofe. max. All Joint is to strapped with "sg" sprace @ 6" in" ofe. unless a punct type ceiling finish is applied
Install approved ment Joint hangers as required. See than for Stig fire separation assembly Enquirements.
Absorbtive material to be 3.5" tid., rack also mineral wool.

# Exposed flour to exterior provide R-31 batt insulation and approved vapour barrier. Continous air barri-pre-finished aluminum soffit, unless otherwise roated on plan.

### BASEMENT SLAB-(see O.B.C 9.16)

4" 25 Mps concrete slab on min 4" thick layer course clean granular fill. Granular fill beneath this layer mus

### GARAGE, EXTERIOR SLABS

6'' (19Mps / with fibro) concrete slab with 5-8% air entrainment on 6'' thick layer 3/4'' clear washed stone. Slab reinforced with 15mm bar @ 1' 0'' Ea, way placed at mid-slepth of slab. Comparied notice with base. Slope slab

# 6C COLD CELLAR PORCII SLAB

For max,  $\psi^{\prime}$  of perch depth 5, (2Mp) concrete slab with 5, 0% of contransment. Reinfarced with forms bers  $(0,0)^{\prime}$  of ca, why in bottom third of slab,  $\psi^{\prime}$  of  $(0,0)^{\prime}$  of covers  $(0,0)^{\prime}$  of  $(0,0)^{\prime}$  of (0,0Sloped slab mie. 1% to exterior

### ALL STAIRS/EXTERIOR STAIRS-(see O B C 9 8)

Mus. rise 7-7/8", Min. rus 8-3/4", Min. tread 9-1/4", Max. nosing 1", Min. headroom 6'-5", Kail @ landing 2'-11", Rail @ sinir 2"6", Min. stair width 2"-17", TUR CHUNVED STAIRS: Min. run 6', Min. starnge run 8".

HANDIMALS AND GLARES. Privide pickets speed 4" max. between pickets. Interior guards up-2'-11" min. Reterior guards up-2'-11" min. Above 6'-11" above ground level guards to be up-3'-4" min.

# 5/8" gypsum drywall on wall and celling between house and gamge. R-24 insulation in walls, R-31 in celling Tape and seal all Joints gas tight.

Door and frame gas-proofed. Door equiped with self closing device and weather stripping

## Precast concrete step or pressure treated wood step. Max rise 7-7/8", Min tread 9-1/4" (typ.)

# Attic access hatch 1'-8" x 2'-4" with weather stripping. R-24 rigid insulation backing

FIREPLACE AND CHIMNEY CONSTRUCTION-(see O.B.C. 9.21 and 9.22.)

# Top of fireplace chimney shall be $g^*0^*$ above the highest point at which it across in contact with the roof and $2^*0^*$ above the roof surface within a hardamial distance of $10^*0^*$ from the chimney.

Mechanical exhaust fan, vented to exterior, to provide 1 air change per hour.

## EXPOSED BUILDING FACE-(see O B C 9.10.14)

Foterior walls to have a fee resistance rating of not less than 45 min, where limiting distance less than 3'-11". Where the limiting distance is less than 1'-11" the expecting face shall be clad in non-combastable material.

Max, percentage of unprotected openings as per Table O.B.C. 9 10.14 A.

### SMOKE ALARM-(see O.B.C. o 10.10.9)

All required strake darm and visual devices to be installed as per (J.B.C. 9.10.19.); lastall minimum; a darm and visual device on each storey inclusing basements and I alarm and visual device per alterping area plus minimum; a fairm and visual device per hallway servicing sleeping areas. Alarms to be connected to an electric tricuit and laterscenisected to activate all alarms (1 as unada.

### CARBON MONOXIDE DETECTOR-(see O.B,C. 9 33 4)

All current manual de detector alarm requirements to be installed as per O.H.C. 9-33-4... Carbon monoxide deterror alarms to be connected to an electric circuit and interconnected to activate all alarms if I sounds

# MAIN BATH SOLID BLOCKING REQUIREMENT (see O.B C 9.5.2.3)

Provide Solial wood blocking to assume that fut are W/C and Shower support bars as per O.B.C. 9.5.2.3 For W/C, goals for blocking install as per O.B.C. 3.8.3.8(1) (d). The Shower grab bar blocking install as per O.B.C. 3.8.3.18 (1) (f)

### (20) REQUIRED EXIT SIGNS (see O B C 9.9.10.)

LIGHTING (see O.B C 9 9 11 )

MINIMUM BEDRAXIM WINDAW-(see C.B.C. 9.7.1.3)At least one hadroom window on a given floor is to have a min. o. 15 ms annihit rected glassed or openable area with min. clear width 1'-9'

WINDOW GDANDS-(see C.B.C. 9,71,6 and 9,8 B.)

A guard or a kindow with a maximum restricted opening width of 4" is required where the top of the window will is located less than 1.6" above fin. flour and the distance from the fin. flour to the affacent grante is greater than 6-1".

# 3) WINIXOW IN EXIT STAIRWAYS (see O.B.C. 9.7.5.2.) 10. Standard Stairment in the stairment to less than 3'-6" above the landing shall be protected be barriers.

Mechanical ventilation is required to provide a 3 air changes per hour averaged over 24 hours. See Mechanical traveling for all Beating, Ventilation, and Air-conditioning requirements.

All roof overhangs to be 1'-4" unless otherwise noted on EXTERIOR ELEVATIONS AREA CALCULATIONS

# DETAIL NUMBER DRAWING NUMBER

FRANCHIPTA'S CONFERENCE - 19 to (BETTING & 1 1)		
	MACH BEAT	DECEMBER .
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PACKAGE J	Tietheran-	CT FACEARA
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aumonogya-	100	40
CONTRACTOR .	-444	- 1000

### DRAWING SCHEDULE Notes Construction Notes/Drawing Schedule A<sub>1</sub> **Exterior Elevations** A2 **Exterior Elevations A3** Fascia / Soffit Details, Chimney Details A4 1942 Dormer Details 1942 Flat Dormer Details A5 A6 East Vestibule Details A7 Screen Room Details A8 Front Entrance Details A9 Window Details A10 Window Details A11 Window Details A12 Foundation Plan A13 Ground Floor Plan A14 Second Floor Plan A15 Roof Framing Plan A16 **Building Sections** A17 Interior Door Details Interior Stairwell Details

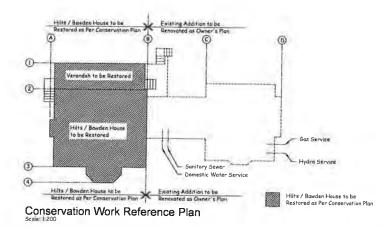
# The "Hilts/Bawden House" Conservation Plan Synopsis

The Hdts/Bonden House Conservation Plan has been prepared in observance of the findings of the Cultural Heritage Impact Assessment Report drafted by Wayne Margan, December 2016.

Article 16.4 Statement of Cultural Heritage Value\* of the CHTA identifies the following heritage attributes morth of January to a profile of the CHTA identifies the following heritage attributes.

- the rectangular plan of the building with it's symmetrical arrangement of openings
   the gable roof with it's projecting and returned eaves and cornice moulding
   the stone cladding of the building on all elevations
   the rectangular window openings with their rectangular windows opening with the provided with the rectangular windows opening with the rectangular windows opening windows opening with their rectangular windows opening with the rectangular windows opening with their rectangular windows opening windows opening with thei
- the brick chimney stack on the south elevat
- the interior assignment the original window openings and front entrance
  the frant hall with the 1942 starcase including the chainfered newel posts, square spindles and moulded handrail

This Conservation Plan identifies and documents the above named original features and provides guidance for their restoration



CONTRACTOR MUST VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND JOB SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SCOTT RUSHLOW ASSOCIATES LTD

- 1) All lumber shall be spruce no 2 grade or better, unless otherwise noted
- Studs shall be stud grade spruce, unless otherwise noted
- 3) Lumber exposed to the exterior to be spruce no 2 or better, pressure treated or cedar, unless otherwise noted
- All laminated senses lumber (I\_V,I\_s) beams, girder trusces, and metal hanger connections supporting roof framing to be designed and confided by truss manufacturer.
- All I.V.I. beams shall be 2.00 WS Micro-lam I.V.I. (Pos-2800 pst. min.) or better by TRUS 30 IST MacMILLAN. Bulls on I.V.I. beams to be connected as new manufacturers are elifactions. T.J.I. loists shall denote wood "I" Bull-up L.V.L. beams to be connected as per manufactures specification. T.J.L. joint framed to the side of areals with a finish specific point with the side of areals would remain and T.J.J. joint framed to the side of areals wood members shall be supported by approach to stack language.
- Wood framing not treated with a wood preservative, in contact with concrete shall be separated from the concrete by at least smill. Polyethytens film or other damproofing material, except where the wead member is at least 6° above the ground.
- 7) All lintels to be 2-2"x10" spruce c/w 2-2"x6" spruce posts each end unless otherwise noted on plan

- 1) All structural steel shall be fabricated and erected to the requirements of CSA Standard CAN3-S16 1-M84
- 2) All structural steel shall be CSA G40.21-M-300 and 350W for H S S Class H
- Welding shall conform to the requirements of CSA W.W. and shall be undertaken by a fabricator approved by the Canadian Welding Barrau in the requirements of W47 Canadian Welding Standard.

- J) Cast in place concrete construction shall conform to the requirements of CSA Standard CAN3-A23 1-m84
- 2) All concrete shall have a minimum compressive strength of 25 Mpa at 28 days unless otherwise noted on plan
- 3) Provide 5-8% sir entrainment for all concrete exposed to
- 4) All reinforcing steel to be deformed bars conforming to CSA G30-12-M Grade 400 Cold weather concrete construction shall conform to CSA Standard CSA-A23 1-M84 Provide temporary enclosure and heating as required.

### MASONARY:

- 1) Masonary construction shall conform to CSA Standard CAN9-A971-MRA
- All plain and reinforced masonary shall conform to CANG-A165 Series-M85 for concrete masonary units, and CANGCIA-A82.1-M87 for burned clay brick units
- 3) All concrete blocks shall have a minimum ultimate compressive strength of 22 Mpa on net area
- 4) Mortar for all masonary walls shall be Type "S" as defined in CSA Standard A179-M1976
- 5) Concrete block wall shall be reinforced horizontally with Standard Blok-Lok @ 1'-4" o/e vertically as per
- 6) Reinforced masonary shall be grouted with 20Mpa concrete, 3/8" aggregate (pea gravel) and 8" slump

Issued for Client Approval Description

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a

### QUALIFICATION INFORMATION

Scott Rushlow		20720
RAME	SHINATURE	BCIN

### REGISTRATION INFORMATION

CRushfow Associates Ltd	33994
M.	BCIN

# SCOTT RUSHLOW associates Ltd

RR#2 Uxbridge, Ontario, 10P1R2 (005) 852-5505

### PROJECT

### Hilts / Bawden House C/O Leslie Elgin Developments Inc. 10961 Leslie Street

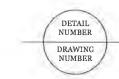
Richmond Hill, Ontario

DRAWING TITLE

# Drawing Schedule Construction Notes Plot Plan

Scale:	As Noted	DRAWING NO
Date:	Apr. 18, 2017	
Job No		Note
Drawn By:	SR	11010
Checked By:		





# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd Colour by owner Approved by Heritage Richmond Hill

New Pre-fin alum Sheet Metal Roofing as per OBC 92613 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd

New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd

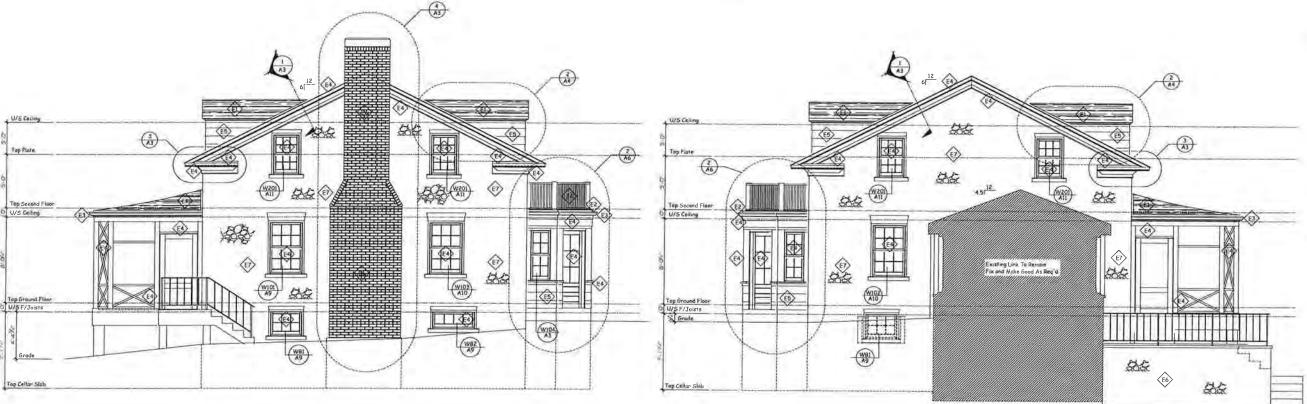
EXTERIOR WOODWORK (General Note)
Existing Exterior woodwork to be restored and or reploced as required to match original form. Scrope and sond woodwork and make ready for point finish as needed Exterior Paint Finish. Paint 3 coat work

1 Primer, 2 Finish
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Mura Collection"
Colour by awner, Approved by Heritage Richmond Hill

Existing 9" Horizontal Bevel wood siding to be restared and or replaced as required to match the original form Scrope and sand siding and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer . 2 Finish Primer - Bengamin Moore - "Fresh Stort" Finish - Benjamin Moore - "Trush Collection" Colour by owner, Approved by Heritage Richmond Hill

Existing Brick Masonry to be Restored Stone restoration techniques as per "Restorio Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins



North Elevation / Section

Issued for Client Approval 10 / 04 / 2017 The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION

Scott Rushlow
NAME SIGNATURE REGISTRATION INFORMATION Seott Rushlow Associates Ltd FTRM

# SCOTT RUSHLOW

associates Ltd

RR#2 Uxbridge, Ontario, L9P1R2 (905) 852-5595

PROJECT

Hilts / Bawden House C/O Leslie Elgin Developments Inc. 10961 Leslie Street Richmond Hill, Ontario

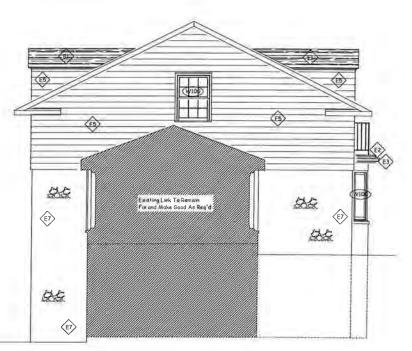
DRAWING TITLE

# **Exterior Elevations**

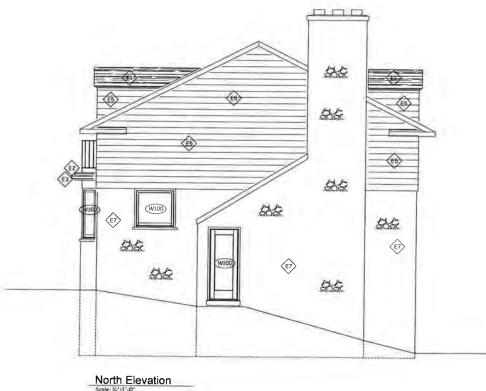
Y. 100 DRAWING NO. Apr. 8, 20 A1 Checked By

South Elevation











DETAIL NUMBER

DRAWING NUMBER

# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Asphalt Shingles By IKO
Combridge Series c/w all Pre-fin Flashings, Trims and
Fittings as Reg'd.
Colour by owner Approved by Heritage Richmond Hill

New Pre-fin alian Sheet Metal Roofing as per OBC 92811 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd

EXTERIOR WOODWORK (General Note)
Existing Exterior woodwork to be restored and or replicated as required to match original form. Scrope and sand woodwork and moke ready for point finish as needed Exterior Point Finish Paint 3 cost work

1 Primer, 2 Finish,

Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Aura Collection"
Colour by owner, Approved by Heritage Richmond Hill

Existing 9 Marsantal Bevel wood siding to be restored and or replaced as required to match the original form. Scripe and sand sclave and make ready fur point finish as needed.

Exterior Paint Finish Paint 3 coat work.

| Primer 2 Finish.

Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Auro Collection"
Colour by owner, Approved by Heritage Richmond Hill

Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017 Description

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a

### QUALIFICATION INFORMATION

Scott Rushlow
NAME SIGNATURE

# REGISTRATION INFORMATION

Scott Bushlow Associates Ltd FIRM

# SCOTT RUSHLOW associates Ltd

RR#2 Uxbridge, Ontario, 1.9P1R2 (905) 852-5595

PROJECT

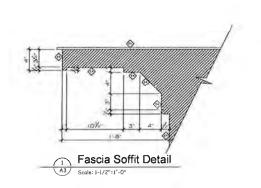
# Hilts / Bawden House

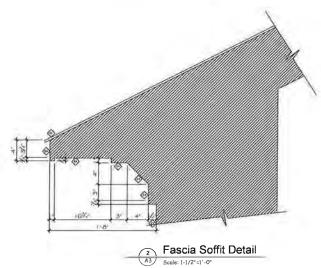
C/O Leslie Elgin Developments Inc. 10961 Leslie Street Richmond Hill, Ontario

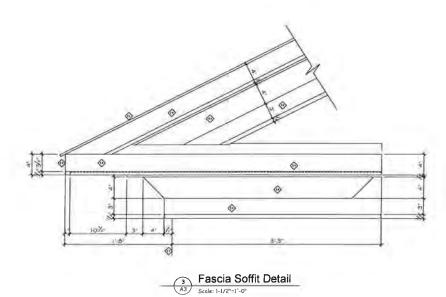
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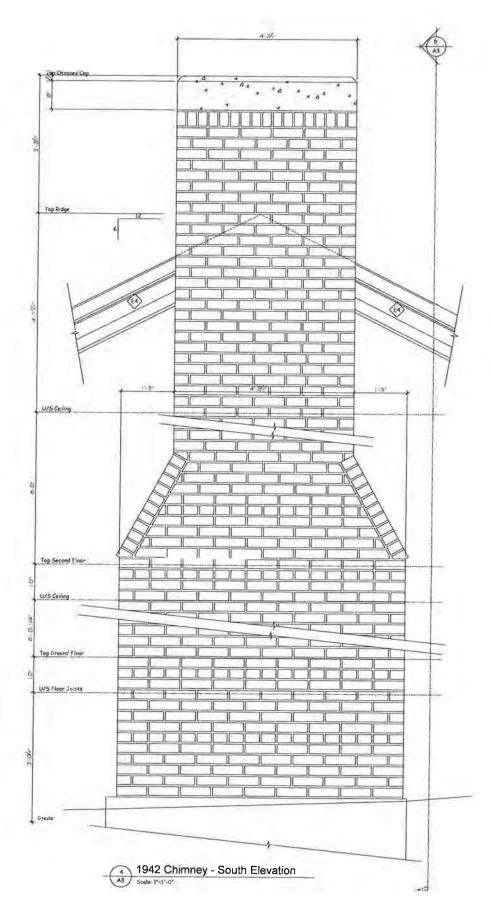
# **Exterior Elevations**

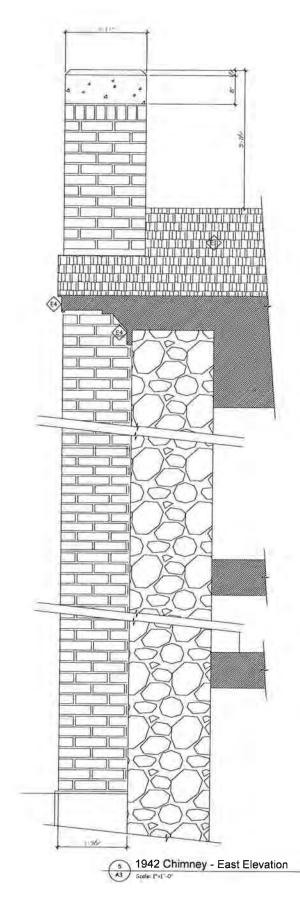
Scale:	1'-0"	DRAWING NO
Date:	Apr. 18, 2017	
Job No.	- 1	۸۵
Drawn By:	SR.	A2
Checked By:		

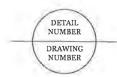












# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Asphalt Shingles By IKO Combridge Series c/w all Pre-fin Flashings, Trims and Fittings as Regid, Colour by owner Approved by Heritage Richmond Hill

Per Fin alum Sheet Matal Roofing as per O.S.C. 9.26.13, Roofing C/W all Pre-fin Flashings, Trims and Fittings as Reg'd

New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd

EXTERIOR WOODWORK (General Note)
Extring Externar wasdwark to be restored and or replaced as required to enoth any pain farm. Scrope and sond woodwork and make ready for paint finish as needed Exterior Paint Finish Paint 3 cost work
1 Primer, 2 Finish
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Aura Collection"
Colour by owner, Approved by Heritage Richmond Hill

Existing 9" Horizontal Bevel wood siding to be restored and or replaced as required to match the original form Scrape and sand stiding and make ready for point finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Point 3 coat work 1 Primer, 2 Finish Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Callection" Colour by owner, Appraved by Heritage Richmond Hill

Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Hauses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017 Description

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

### QUALIFICATION INFORMATION

Scott Rushlow
NAME SIGNATURE

### REGISTRATION INFORMATION

Scott Rushlow Associates Ltd FTRM

# SCOTT RUSHLOW associates Ltd

RR#2 Uxbridge, Ontario, L9P1R2 (905) 852-5595

PROJECT

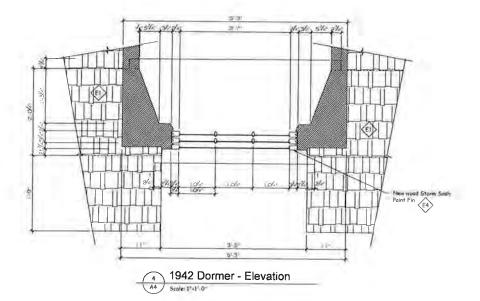
# Hilts / Bawden House C/O Leslie Elgin Developments Inc

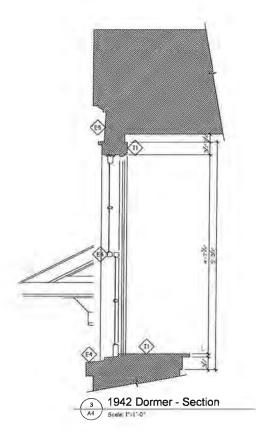
10961 Leslie Street Richmond Hill, Ontario

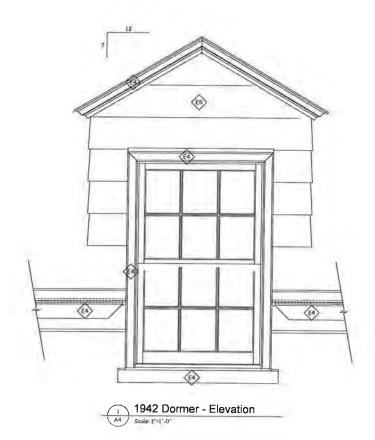
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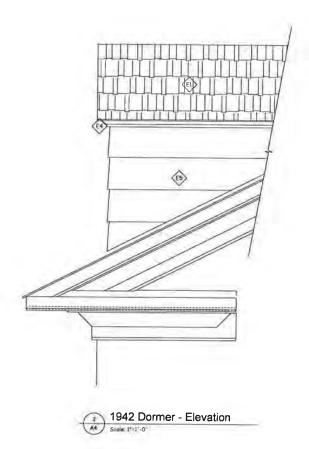
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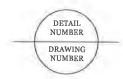
As Noted DRAWING NO. Apr. 18, 2017 Job No











# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Asphalt Shinges By IKO Genbridge Series c/w all Pre-fin Flashings, Trims and Fritings as Reg'd. Colour by owner. Approved by Heritage Richmond Hill

FED New Pre-1 in alum Sheet Metal Roofing as per Chat. 9.26.13. Roofing C/W all Pre-1 in Flashings. Trans and Fittings as Reg'd

New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd

EXTERIOR WOODWORK (General Note)
Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrope and sand woodwork and make ready for point finish as needed Exterior Paint Finish. Part 3 coat work. 1 Primer, 2 Finish.
Pr. mar. - Benjamin Moner. | Fresh Start | Finish - Benjamin Moner. | Auro Collection Colour by owner, Approved by Heritage Richmond Hill.

Existing 9" Horizantal Bevel wood siding to be restored and or replaced as required to match the original form Scrape and sond siding and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill

Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masanry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017 No Description

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

### QUALIFICATION INFORMATION

Some Residow 19720 NAME SEGNATURE 1978

REGISTRATION INFORMATION

Scott Furthing Associates Ltd FTRM

# SCOTT RUSHLOW

associates Ltd RR#2 Uxbridge, Ontario, L9P1R2 (905) 852-5595

PROJECT

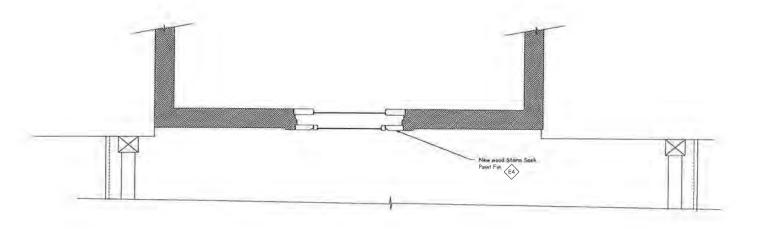
# Hilts / Bawden House

C/O Leslie Elgin Developments Inc. 10961 Leslie Street Richmond Hill, Ontario

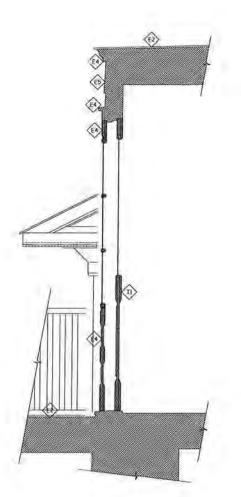
DRAWING TITLE

# 1942 Dormer Details

Scale;	As Noted	DRAWING NO
Date:	Apr. 18, 2017	
Job No_		Λ 1
Drawn By:	S R.	A4
Checked By:		

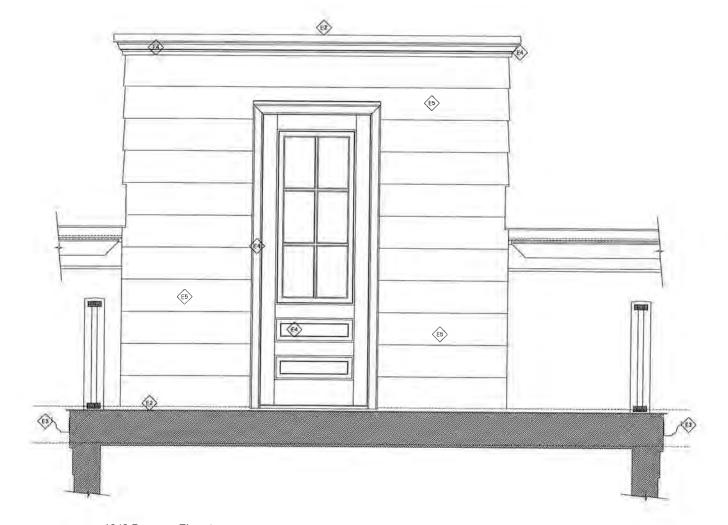




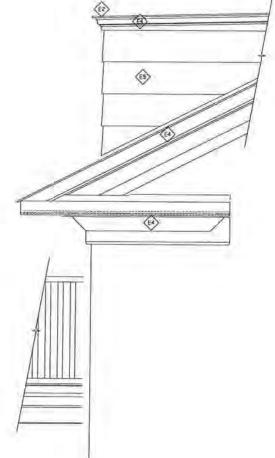




3 1942 Dormer - Section



1942 Dormer - Elevation



1942 Dormer - Elevation



# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Appeals Shingles By IKO
Combinedge Serves c/w all Pre-fin Flashings, Trims and
Fatings as Beg d
Colour by owner Approved by Heritage Richmond Hill

New Pre- (in alian Sheet Metal Roofing as per OBC 9 2613 - Boofing C/W all Pre-tin Fleshings, Terms and Fiftings as Reg a

New Pre-fin alum Eaves trough C/W all
Fre-fin Trims and Fittings as Req'd

EXTERIOR WODOWORK (General Note)
Existing Exterior was down's to be restored and or
replaced at required to match original form. Scrape and
sand woodwork and make ready for point finish as needed
Exterior Paint Finish Paint 3 cost work
1 Primer, 2 Finish
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Aura Collection"
Colour by owner, Approved by Heritage Richmond Hill

Existing 9" Horizontal Bavel wand siding to be restored and or replaced as required to match the original form Scrope and sand siding and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Paint 9 Cast work 1 Primer, 2 Finish Primer - Banjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hill

Existing Brick Masonry to be Restored
Stone restoration techniques as per "Restoring
Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017 Description

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QUALIFICATION INFORMATION

Scott Rushlow 297320
NAME SIGNATURE BEEN REGISTRATION INFORMATION

Scott Renhluw Associates Ltd. FTRM

# SCOTT RUSHLOW associates Ltd

RR#2 Uxbridge, Ontario, L9P1R2 (905) 852-5595

PROJECT

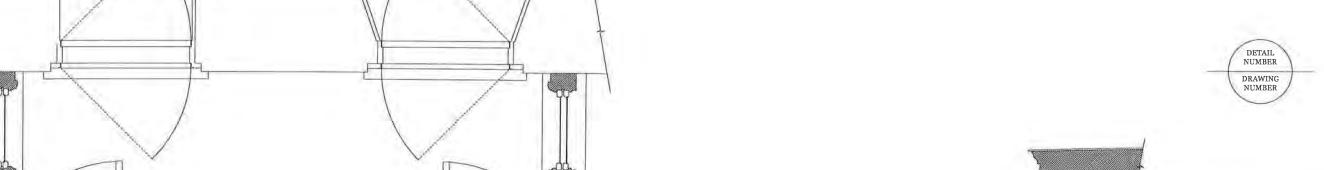
# Hilts / Bawden House

C/O Leslie Elgin Developments Inc. 10961 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

# 1942 Flat Dormer Detail

Scale:	As Noted	DRAWING NO
Date:	Apr. 18, 2017	
Job No.		Λ.
Drawn By:	S R.	Aŋ
Checked By:		



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3 1942 Chimney - South Elevation
Setular 17:91:01



1942 Chimney - South Elevation

2 1942 Chimney - Section



New #300 Asphult Shingles By IKO Carabridge Seriet c/w all Pre-fin Flashings, Trims and Fithings as Ragid Colour by owner Approved by Heritage Richmond Hill

New Pre-fin alum Sheet Matal Goofing as per C 5.C 9.26.13: Roofing C/W all Pre-fin Flashings Trion and Fittings as Req'd

Fra for Trims and Fittings as Req'd

EXTERIOR WOODWOOK (General Note)
Existing Exterior woodmark to be restered and or
impliced as required to mait harging farms. Scrape and
sond woodwork and make ready for point finish as needed
Exterior Paint Finish Paint 3 coat work
1 Primer, 2 Finish
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Aura Collection"
Colour by owner, Approved by Heritage Richmond Hill

Exerting 9: Horsental Bevel wood siding to be restiered and an replaced as required to match the original term. Scrape and sand siding out make ready for point finish as needed.
Exterior Point Finish Point 3 coat work
I Primer. 2 Finish
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Two Collection"
Colour by owner, Approved by Heritage Richmond Hill

E6 Store restoration techniques as per "Restoring Houses of Brick & Store by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be  $\alpha$  designer

QUALIFICATION INFORMATION

NAME SIGNATURE BOIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd FTRM

# SCOTT RUSHLOW

associates Ltd RR#2 Uxbridge, Ontario, LgP1R2 (905)852-5595

PROJECT

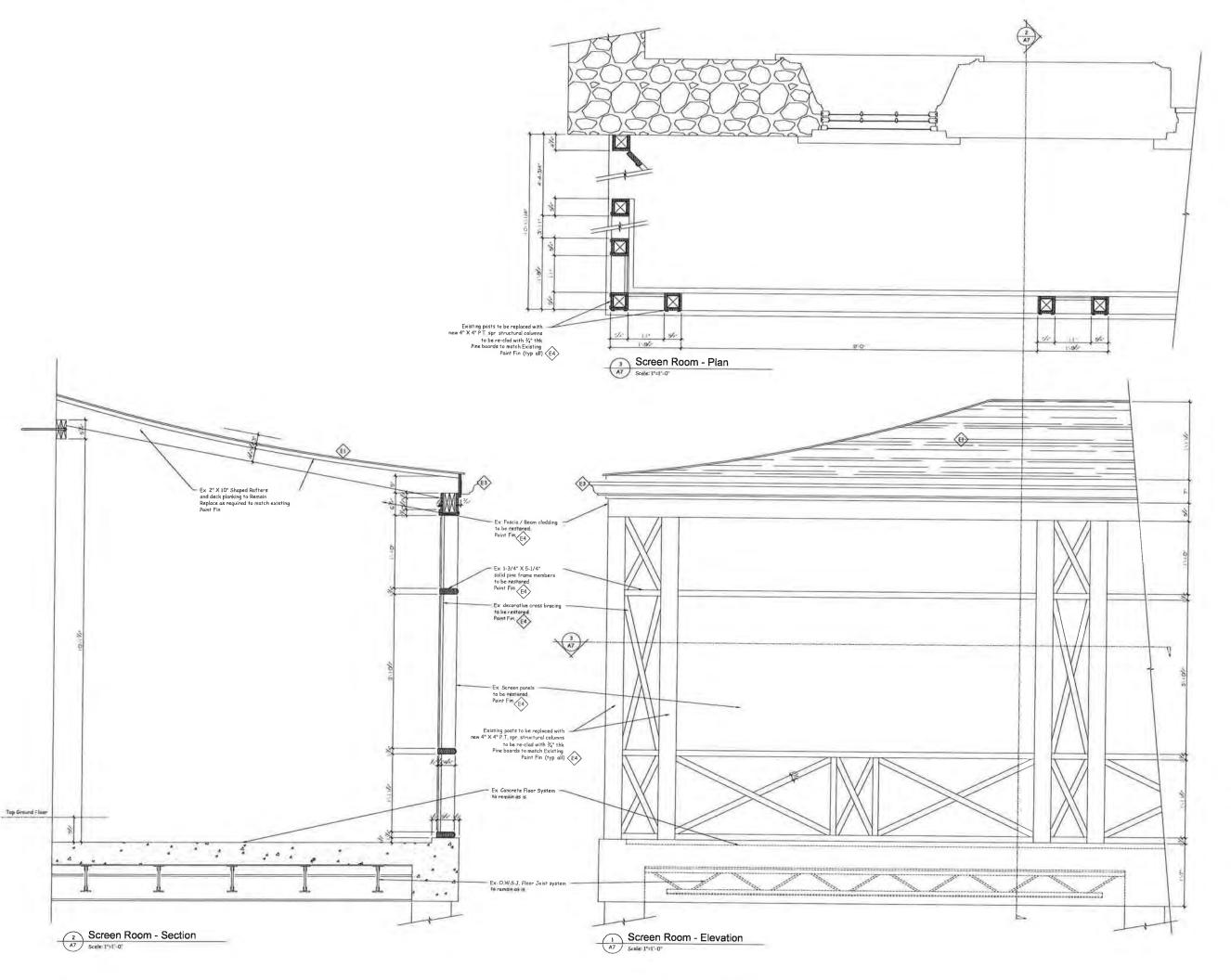
# Hilts / Bawden House

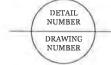
C/O Leslie Elgin Developments Inc. 10961 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

# East Vestibule Details

DRAWING NO Scale: As Noted A6 Checked By:





# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

WBOL DESCRIPTION

New #300 Aspholt Shingles Sy IKO
Conbridge Series c/w all Pre-fin Flashings, Trims and
Fittings as Req'd.
Colour by owner Approved by Heritage Richmond Hill

New Pre-fin alum Sheet Metal Roofing as per OBC 9 2613 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd

New Pre-fin alum Eaves trough C/W Pre-fin Trims and Fittings as Rea'd

EXTERIOR WOODWORK (General Note)
Existing Externor woodwork to be restored and or replaced as required to match original form Scrope and sand woodwork and make ready for point finish as needed Exterior Paint Finish Paint 3 coat work 1 Primer, 2 Finish Paint 3 coat work 1 Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Richmond Hull

Existing 9" Horizontal Bevel wood sliding to be restored and or replaced as required to match the original form Scrope and sand sliding and make ready for point finish as needed Exterior Point Finish Paint 3 coat work 1 Primer, 2 Finish Primer - Benjamin Maore - "Fresh Start" Finish - Benjamin Maore - "Fare Collection" Colour by owner, Approved by Heritage Richmond Hull

Existing Brick Masonry to be Restored
Stone restoration techniques as per "Restoring
Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017

No Description Date

The undersigned has reviewed and takes responsibilty for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Scott Rushlow 29720 NAME: SIGNATURE BCIN

REGISTRATION INFORMATION
Scott Rushbaw Associates Ltd
FRM

# SCOTT RUSHLOW

associates Ltd

RR#2 Uxbridge, Onturio, L9P1R2 (905) 852-5595

PROJECT

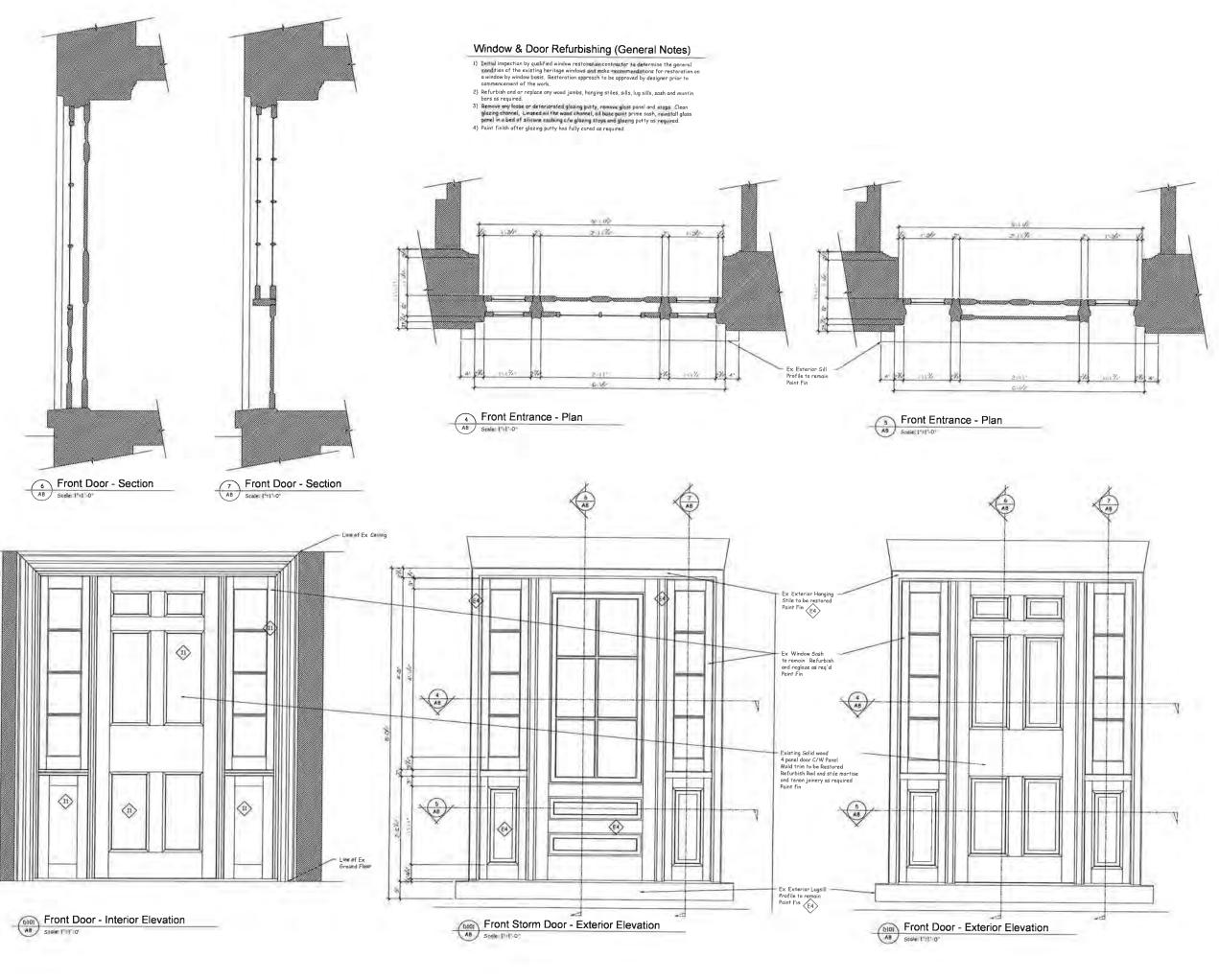
## Hilts / Bawden House C/O Leslie Elgin Developments Inc.

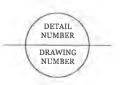
10961 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

# Screen Room Details

Scale:	As Noted	DRAWING NO.
Date:	Apr. 18, 2017	
Job No		Λ -7
Drawn By:	S R.	$\Lambda$
Checked By:		





# EXTERIOR FINISH SCHEDULE SYMBOL DESCRIPTION

New #300 Asphalt Shingles By IKO Comberings Series c/w all Pre-fin Flashings, Trims and Fittings as Reg'd.
Colour by owner Approved by Heritage Richmond Hill

New Pre-fin alum Sheet Metal Roofing as per OBC 9 26.13 Roofing C/W all Pre-fin Flashings, Trims and Fittings as Req'd

New Pre-fin alum Eaves trough C/W all Pre-fin Trims and Fittings as Req'd

EXTERIOR WOODWORK (General Note)
Existing Exterior woodwork to be restored and or replaced as required to match original form. Scrope and sond woodwork and make ready for paint Finish as needed Exterior Paint Finish. Paint 3 coat work. I Primer, 2 Finish.
Primer - Benjamin Moore - "Fresh Start" Finish. Benjamin Moore - "Aura Collection".
Colour by owner, Approved by Heritage Richmond Hill.

Existing 9" Horizontal Bavel wood siding to be restored and or replaced as required to match the original form Scrope and sand siding and make ready for paint finish as needed Exterior Paint Finish Paint 3 coat work 19 mer 2 Finish Point 3 Finish Start's Finish Bargamer Moore - "Fresh Start's Finish Bargamer Moore - "Fresh Start's Finish Bargamer Moore - "Are Calletton Colour by owner, Approved by Heritage Richmond Hill

Existing Brick Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Existing Fieldstone Masonry to be Restored Stone restoration techniques as per "Restoring Houses of Brick & Stone" by Nigel Hutchins

Issued for Client Approval 10 / 04 / 2017 Description

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QUALIFICATION INFORMATION

Scott Rushlow
NAME, SIGNATURE. REGISTRATION INFORMATION

Scott Rushlaw Associates Ltd FIRM

# SCOTT RUSHLOW associates Ltd

RR#2 Uxbridge, Ontario, L9P1R2 (905) 852-5595

PROJECT

### Hilts / Bawden House C/O Leslie Elgin Developments Inc.

10961 Leslie Street Richmond Hill, Ontario

DRAWING TITLE

### Front Entrance Detail

Scale:	As Noted	DRAWING NO.
Date:	Apr. 18, 2017	
Job No		ΛQ
Drawn By:	SR	Að
Cheeked By:		