



Staff Report for Heritage Richmond Hill Meeting

Date of Meeting: March 23, 2023

Report Number: SRPI.23.035

Department: Planning and Infrastructure

Division: Policy Planning

Subject: **SRPI.23.035 Heritage Permit - 1370 Elgin Mills Road East (Richmond Hill Railway Station)**

Purpose:

To seek Heritage Richmond Hill's recommendation to Council to approve the Heritage Permit Application to replace the roof of the City-owned Part IV heritage designated Richmond Hill Railway Station at Richmond Green (1370 Elgin Mills Road East).

Recommendation:

- a) That Heritage Richmond Hill recommends to Council:
 - (i) That the Heritage Permit Application to replace the roof of the Richmond Hill Railway Station at 1370 Elgin Mills Road East, as described in report SRPI.23.035, be approved.

Contact Person:

Julia Smith, Urban Design/Heritage Planner - Phone 905-771-5529

Steven Bell, Manager of Heritage and Urban Design – Phone 905-771-9996

Report Approval:

Submitted by: Kelvin Kwan, Commissioner of Planning and Infrastructure

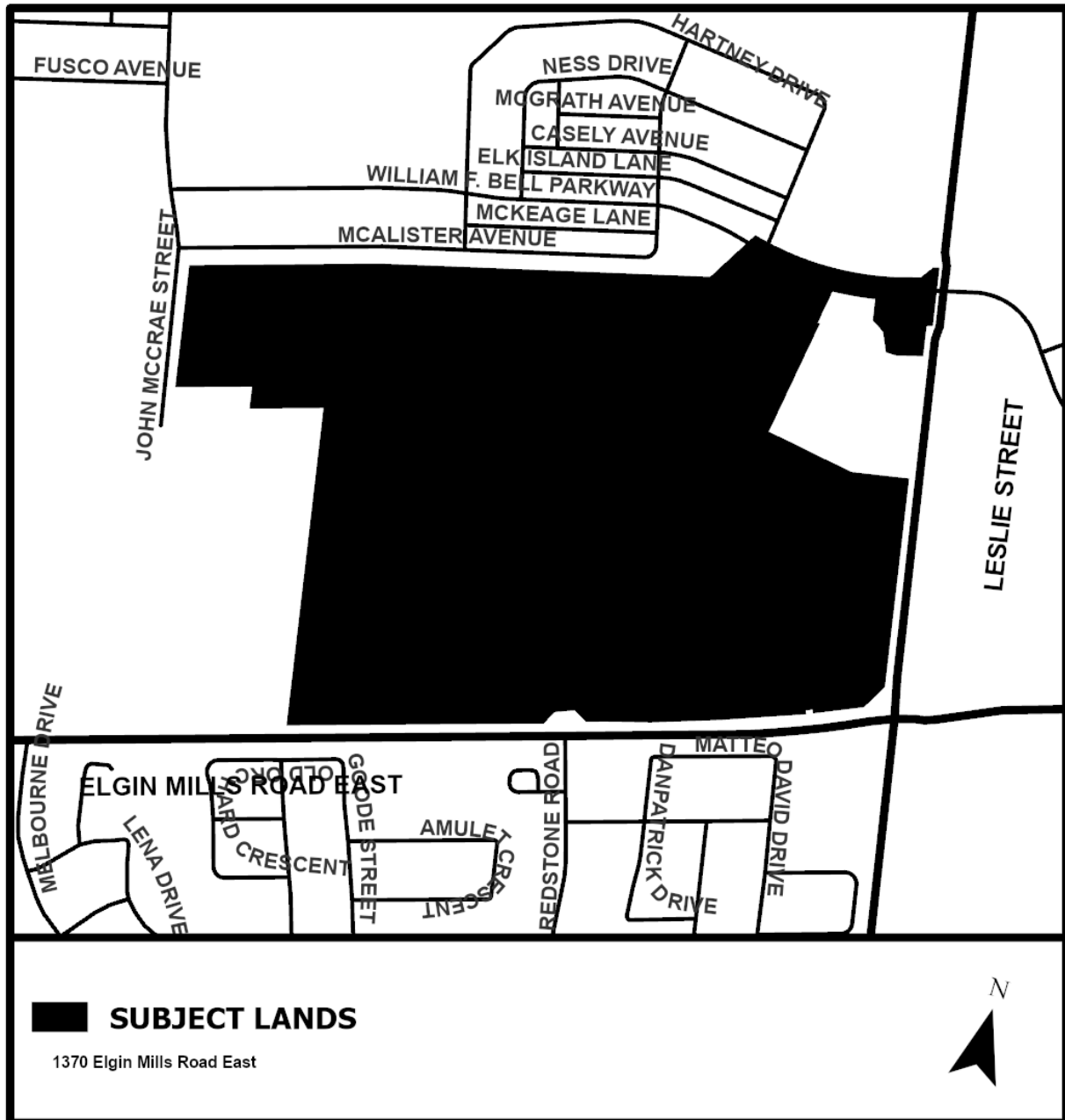
Approved by: Darlene Joslin, City Manager

All reports are electronically reviewed and/or approved by the Division Director, Treasurer (as required), City Solicitor (as required), Commissioner, and City Manager. Details of the reports approval are attached.

Page 2

Location Map:

The map below depicts the location of the subject property. Should you require an alternative format, call the contact person listed in this document.



Background:

The property located at 1370 Elgin Mills Road East (the “Subject Property”) contains the City-owned Richmond Hill Railway Station, which was built in 1906 in the Queen Anne

Page 3

Revival style and is designated under Part IV of the *Ontario Heritage Act* through Designating By-law 17-93. The building was relocated to its current location in 1979 and is currently used by the Richmond Hill Soccer Club.

The City is undertaking maintenance repair work on a number of City-owned heritage buildings, including the Richmond Hill Railway Station. This work was identified during a 2017 condition assessment report of various City-owned heritage buildings.

In 2022, City Council approved a heritage permit for the Subject Property, which included exterior repairs to the building, as well as select areas of repair to the building's wood-shingled roof. However, following further assessment of the roof's condition and life cycle, it was determined that the roof should be replaced in its entirety.

Hence, the scope of roof work now being proposed for the Richmond Hill Railway Station includes:

- Replacement of all cedar roof shingles, to match the existing in size and appearance;
- Replacement of all metal roof valley flashing, to match the existing;
- Replacement of all eaves troughs and downspouts, to match the existing; and
- Selective repair and repainting of the roof fascia, to match the existing.

While there is no apparent damage to the underlying layers of the roof, any areas of deterioration uncovered during the roof replacement will be replaced with like materials.

Note that the remaining scope of exterior repair work to the Richmond Hill Railway Station that was approved by Council in 2022 via Staff Report SRPI.22.029 remains applicable, and is intended to be completed alongside the roof replacement work outlined in this heritage permit application.

Discussion:

The following section describes the impact that the restoration work will have on the Subject Property's heritage attributes.

Physical Impact

The proposed roof replacement work will help to ensure the long-term conservation of the Subject Property.

- The existing cedar roof has reached the end of its life and is in need of repair; replacing the whole roof with new cedar shingles and new metal roof valley flashing will ensure that the building remains watertight, and will mitigate further deterioration.
- Installing new eaves troughs and downspouts will ensure that water properly drains from the roof and away from the house, and will prevent moisture from entering and damaging architectural or structural elements.

Page 4

- Selectively repairing and repainting portions of the roof fascia showing signs of damage and deterioration will prevent surface damage from extending further into the building.

All of the proposed work aligns with recognized heritage conservation principles. Accordingly, the proposed repair work will have a positive impact on the Subject Property's heritage attributes.



Figure 1 East (front) elevation of the Richmond Hill Rail Station, showing the poor condition of the existing cedar shingles, and areas of peeling paint on the roof fascia, particularly in the gables.

Page 5



Figure 2 West (rear) elevation of the Richmond Hill Rail Station, showing the poor condition of the existing cedar shingles, and areas of peeling paint on the roof fascia, particularly in the gables.

Visual Impact

The proposed scope of work will significantly improve the appearance of the Richmond Hill Railway Station, which is currently showing signs of damage due to age and exposure to the elements. Accordingly, the proposed repair and/or in-kind replacement of the roof, eaves troughs and downspouts and roof fascia will have a positive visual impact on the Subject Property's heritage attributes and overall appearance.

Financial/Staffing/Other Implications:

There are no financial or staffing implications at this time.

Relationship to Council's Strategic Priorities 2020-2022:

A detailed consideration of the impacts that the proposed works will have on the Subject Property is in keeping with the Strategic Priority, "Balancing Growth and Green", as the proposed work will help to ensure that the Richmond Hill Railway Station continues to be used. It also relates to Strategic Priority, "Strong Sense of Belonging" by helping to conserve Richmond Hill's cultural heritage resources.

Conclusion:

The work that is being proposed for the Richmond Hill Railway Station will repair elements of its exterior that are failing or showing signs of deterioration due to age and

Page 6

exposure to the elements. These repairs will help to ensure the continued conservation and use of the Subject Property, and will improve the appearance of the Richmond Hill Railway Station.

Attachments:

The following attached documents may include scanned images of appendixes, maps and photographs. All attachments have been reviewed and made accessible. If you require an alternative format please call the contact person listed in this document.

- Appendix A – 2023 Heritage Permit Application for 1370 Elgin Mills Road East (Richmond Hill Railway Station)

Page 7

Report Approval Details

Document Title:	SRPI.23.035 Heritage Permit - 1370 Elgin Mills Rd E (RH Railway Station).docx
Attachments:	- SRPI.23.035 Appendix A - AODA.pdf
Final Approval Date:	Mar 9, 2023

This report and all of its attachments were approved and signed as outlined below:

Maria Flores - Mar 8, 2023 - 1:59 PM

Kelvin Kwan - Mar 8, 2023 - 2:38 PM

Darlene Joslin - Mar 9, 2023 - 9:25 AM