

# 'Appendix A' to Staff Report SRPI.23.035

Last Updated: February 10, 2023



## Heritage Permit Application

This permit form is for applicants proposing alternations to individually designated properties, cultural heritage landscapes and properties located within a heritage conservation district. Applicants are strongly advised to consult with the Heritage Planner to confirm if the work to be undertaken requires a Heritage Permit.

Attachments to this application should include all the supporting documents that will provide the necessary visual or technical information by which the project can be properly evaluated. Applicants are strongly advised to consult with the Heritage Planner prior to formally submitting their application to confirm whether additional reports or studies are required. The City only accepts applications that are complete as confirmed by the Heritage Planner.

Although it is not required to obtain professional assistance in the preparation of this application, applicants are **strongly advised** to seek such assistance from an architect, architectural technologist, preservation specialist, or others familiar with the unique requirements of designated heritage properties.

### Property Information

Municipal Address: 1370 Elgin Mills Road East, Richmond Hill, ON L4S 1M5

Legal Description: PT LT 26, CONCESSION 2, EYS; PT 1 PLAN 65R-16319

Existing Use:

Residential

Commercial

Institutional

**Other**

### Owner & Agent Information

#### Property Owner

Name of Owner: City of Richmond Hill (Project Manager: Andrew Beshay)

Phone Number: (905) 771-5502 Fax: N/A Email: andrew.beshay@richmondhill.ca

Address: 225 East Beaver Creek Road, Ground Floor, Richmond Hill, ON L4B 3P4

#### Agent (if applicable)

Name of Agent: Ryan Lee

Business Phone: (647) 454-0084 Fax: N/A Email Address: ryan@ataarchitectsinc.com

Address and/or location of designated property if different from the address above:

Individual Designation By-Law Number (Part IV) - By-Law Number: 17-93

Located within the Gormley Heritage Conservation District (Part V):

Yes

**No**

## Required Supporting Documents

### Built Heritage Projects

#### 1. Written Description

Describe the work to be undertaken. This must include a description of the property and its location, the work to be undertaken, construction methods and means of attachment, materials and colour to be used, potential impacts to the property's heritage attributes, and reasons why the City should approved this application.

#### 2. Scaled Drawings

Submit scaled drawing(s) in 11"x17" or 8"x11" size illustrating the existing condition and the proposed alteration. The scaled drawing(s) for built heritage projects must include:

- Overall dimensions;
- Labelling of building elements (signs, windows, awnings, etc.) and their dimensions;
- Detailed architectural information (trim, siding, etc.) with dimensions and profiles;
- Types of material and colour to be used (MUST be noted on drawing to indicate their location); and
- Construction methods and means of attachment.

#### 3. Photographs

Photographs of the buildings including general photos of the following:

- Heritage features and any areas that are affected by the proposed alteration or change;
- All elevations of the building;
- Streetscape in which the building is facing;
- Streetscape in which the building is located; and
- If a property is located at an intersection, all four corners of the intersection.

#### 4. Site Plan & Construction Plans

Submit site plan identifying the property boundaries and footprints of existing and proposed (if applicable) buildings with distances from adjacent properties and location of proposed work. Include construction plans illustrating the proposed work.

## 5. Historical Documentation

Submit any historical documents (i.e. photographs, articles) on the subject property that will assist the City to understand the application.

## 6. Additional Studies

Submit any additional technical cultural heritage studies that are relevant to the proposed alteration, if required.

## Cultural Heritage Landscapes

For proposed alterations to designated cultural heritage landscapes, please contact the Heritage Planner for the required supporting documentation.

## Fees

Minor Work: **\$415**

*Definition: Minor alterations are defined as small additions, repairs or similar changes. Generally, they do not impact the identified heritage attributes of a property.*

Major Work: **\$3,553**

*Definition: Major applications alter or remove identified heritage attributes of a property. This includes the relocation of a structure to a different part of the property, the dismantling of a structure to be incorporated within a new structure, an addition to an existing heritage structure, and any changes affecting the legal description of the property as contained in the designation by-law.*

Payments can be made via a cheque made out to the City of Richmond Hill Planning and Infrastructure.

## Declaration

Declaration: I, **Ryan Lee** of the City/Town of **Burlington** solemnly declare that I am the Owner ☐ or the Authorized agent ☒ of the above named designated property and that all the information and statements provided in this application form and on the attached drawings and specifications are to the best of my knowledge and belief true and I make this Solemn Declaration conscientiously believing it to be true, and knowing it is of the same force and effect as if made under oath, and by virtue of the Canadian Evidence Act.

Signature of applicant:



Date: **2023 02 15**

The personal information of this form is collected under the legal authority of Section 33(2) and Section 42(2) of the *Ontario Heritage Act*. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the *Ontario Heritage Act*. If you have any questions about this collection of personal information, please contact the Heritage and Urban Design Planner at 905-771-5529.

## **Heritage Permit Application – Required Supporting Documents**

### **1. Written Description**

#### **Overview**

The proposed work to be undertaken is the roof replacement at the Rail Station as part of the City of Richmond Hill's ongoing maintenance repairs to City-owned heritage buildings.

The following interventions are proposed for the building's exterior facade:

- Replacement of cedar roof shingles
- Replacement of all metal flashing to match the existing
- Replacement of the gutters and downspouts to match existing ones.
- Repair and repaint the fascia.

#### **Wood Roof Shingles**

The proposal includes the replacement of existing cedar roof shingles. The roof has reached its end of life and is in need of repair. There is no apparent leak or deterioration of the roof structure. Any replacement of the substrate will be replaced like for like.

The old shingles will be removed and replaced with new cedar shingles that match the existing in size and appearance. The existing roof valley flashing, eaves trough and downspout will be replaced with new ones to match the existing. The fascia will be repaired and repainted.





Heritage Permit Application - Site Photographs  
1370 Elgin Mills Road East, Richmond Hill, ON



East/ Front Elevation



East/ Front Elevation



Heritage Permit Application - Site Photographs  
1370 Elgin Mills Road East, Richmond Hill, ON



North Elevation



West/ Rear Elevation at North





West/ Rear Elevation at South



South Elevation



**Heritage Permit Application - Site Photographs**  
**1370 Elgin Mills Road East, Richmond Hill, ON**



Streetscape North of Elgin Mills Road East - Subject Property at 1370 Elgin Mills Rd E



Streetscape North of Elgin Mills Road East - Neighbouring Landscape



Streetscape North of Elgin Mills Road East - Neighbouring Landscape and Parking

**Heritage Permit Application - Site Photographs**  
**1370 Elgin Mills Road East, Richmond Hill, ON**



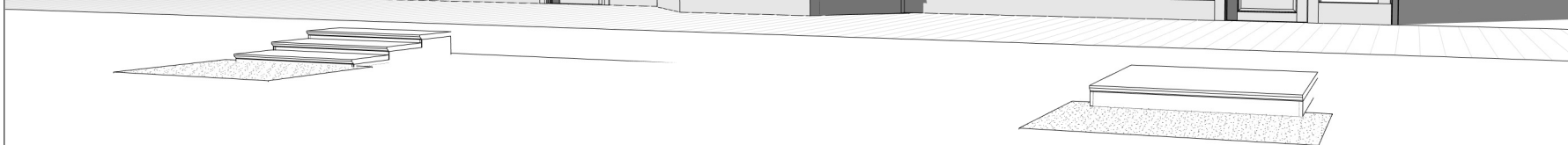
Streetscape South of Elgin Mills Road East - Building Across the Street at 8 Danpatrick Dr.



Streetscape South of Elgin Mills Road East - Building at 21 Matteo David Dr



Streetscape South of Elgin Mills Road East - Building at 1365 Elgin Mills Rd E



# RAIL STATION ROOF REPLACEMENT ISSUE FOR TENDER

**1370 ELGIN MILLS RD E, RICHMOND HILL, ON**

PROJECT NO. 21-1515

**ARCHITECTURAL**  
**ATA ARCHITECTS INC.**  
3221 NORTH SERVICE ROAD, SUITE 101  
BURLINGTON ONTARIO L7N 3G2  
T 905-849-6986

DRAWING LIST		
#	SHEET NAME	ISSUED FOR TENDER
A-RSD.1	COVERSHEET & DRAWING LIST	X
A-RSD.1	ROOF PLANS	X
A-RSS.1	ELEVATIONS	X
A-RS7.1	DETAILS	X

	SECTION HEAD	CJ	CONTROL JOINT
	CALLOUT HEAD	AL	ALUMINUM
	DOOR TAG	HM	HOLLOW METAL
	ENTRY ARROW	AN	ANODIZED
	FLOOR TAG	PT	PAINT
	GRID BUBBLE	FIN	FINISH
	MATERIAL TAG	FR	FIRE RATING
	ROOF TAG	GWG	GEORGIAN WIRED GLASS
<u>Room name</u>	ROOM NAME TAG	TEMP	TEMPERED
		WM	POSSIBLE WATER LEADER LOCATION
	WALL TAG	RWL	RAIN WATER LEADER
	WINDOW TAG		
	ELEVATION MARKER		
	PATH OF TRAVEL		

## ANNEXATION LEGEND

1:50

GENERAL NOTES

1. ALL CONSTRUCTION TO MEET THE 2010 ANNOTED BUILDING CODE AND ALL APPLICABLE CODES.
2. INSPECT SITE CONDITIONS PRIOR TO BEGINNING ON-SITE WORK AND REPORT ANY DISCREPANCIES.
3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS, EQUIPMENT, AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF ALL APPLICABLE HAVING JURISDICTION.
4. SITE VERY HILLY AND CONSTRUCTION WILL BE LIMITED TO EXISTING SITE CONDITIONS.
5. MAKE GOOD ALL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION THROUGHOUT ON-DRAWINGS OR NOT.
6. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY AND ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND SERVICEING AND LANDSCAPE DRAWINGS. REFER TO THESE DRAWINGS FOR ALL DRAWING OF FINISHED FINISHES. COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL & LANDSCAPE DRAWINGS TO ENSURE THAT THE PROJECT IS COMPLETED CORRECTLY.
7. REPORT ALL UNEXPECTED DEVIATIONS FROM THE DRAWINGS PRIOR TO MAKING CHANGES.
8. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO INSURE PARTS OF THE WORK COME TOGETHER PROPERLY.
9. ARRANGE FOR INSPECTIONS REQUIRED BY LAW INCLUDING: PLUMBING, HVAC, GAS, ETC. AUTHORITIES.
10. PROVIDE STRAPPING FOR WALLS AND BRACING AS REQUIRED & AS DETAILLED.
11. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS LABELED "FOR CONSTRUCTION".
12. PROVIDE FINISHING AND FINISHES TO BE SHOWN ON DRAWINGS WITH DEC. CASH-905.6136 AND GLASS SPECIFICATION S-38. INCLUDING METALLIC COATINGS.
13. LIGHTWEIGHT STEEL CONTRACTOR MUST HIRE A PROFESSIONAL ENGINEER TO DESIGN THE LIGHTWEIGHT STEEL TRUSS TO BE ADAPTED TO SUPPORT THE EXISTING ROOFING SYSTEMS AND TO PERFORM PERFORMED FIELD REVIEWS. ALL COST TO BE BORNE BY THE LIGHTWEIGHT STEEL CONTRACTOR.
14. SUBMIT ALL DRAWINGS TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SHALL SHOW BOTH DESIGN AND INSTALLATION REQUIREMENTS.
15. PROVIDE ENGINEERING DESIGN OF THE INTERIOR WALLS WITH THE ATTACHMENT DEDAL TO THE ROOF AND FLOOR AREA. REPAIR SECTION A 1-3 OF OCT 2012 WITH CORRECTIONS.
16. STRUCTURAL ENGINEER'S DRAWING AND SPEC SUPERSEDES THIS NOTE.

001	2023-02-21	ISSUE FOR TENDER
NUMBER	DATE	REMARK

**REVISION TABLE**

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

**ATA ARCHITECTS**  
ATA ARCHITECTS INC.

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3221 NORTH SERVICE RD, SUITE 101  
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E [admin@ataarchitectsinc.com](mailto:admin@ataarchitectsinc.com)  
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SEALS



PROJECT

RAIL STATION ROOF  
REPLACEMENT

1370 ELGIN MILLS RD E,  
RICHMOND HILL, ON

DRAWING  
COVERSHEET & DRAWING LIST

DRAWN

SCALE

1 : 50

DATE \_\_\_\_\_

02/21/2023

CHECKED

RL

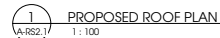
PROJECT

01 1515

21-1515  
DRAWING

**DRAWING**

## A-RS0.1



**PT1 - PAINT TYPE 1 - NEW PAINT - WOOD FASCIA.**  
**MANUFACTURE:** ALLBACK LINSEED OIL PAINT OR APPROVED EQUIVALENT  
**SERIES:** REFER TO SPECS.  
**COLOUR:** ARCH. TO CONFIRM, TO BE SELECTED FROM MANUFACTURER'S FULL RANGE  
 (ALLOW FOR UP TO 5 COLOURS WITHIN THESE SPACES, 5 SAMPLES OF EACH)  
**LOCATION :** REFER TO DRAWINGS



6 ROOF ASSEMBLY  
A-RS2.1 1:20

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W [www.ataarchitectsinc.ca](http://www.ataarchitectsinc.ca)



1370 ELGIN MILLS RD E,  
RICHMOND HILL, ON

DRAWING

DRAWN

SCALE

As indicated

[illegible]

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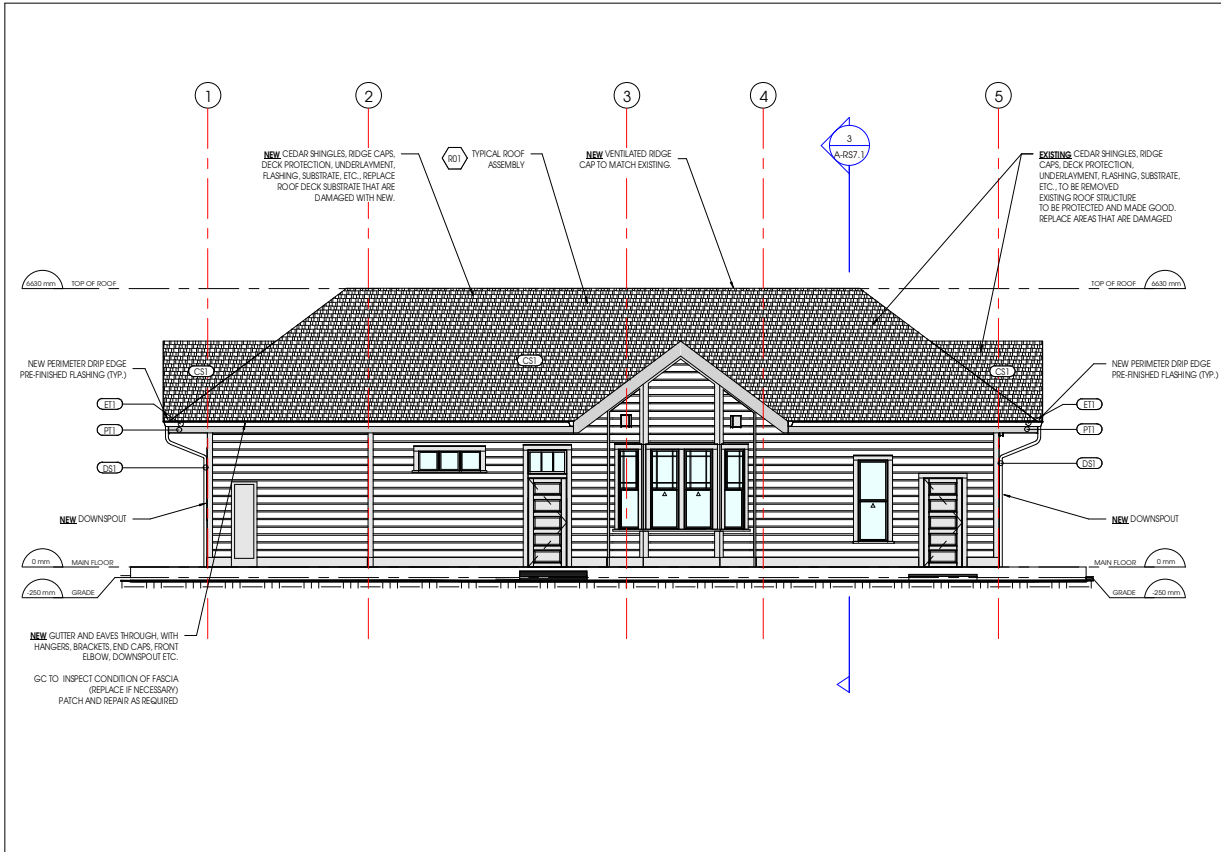
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PROJECT	
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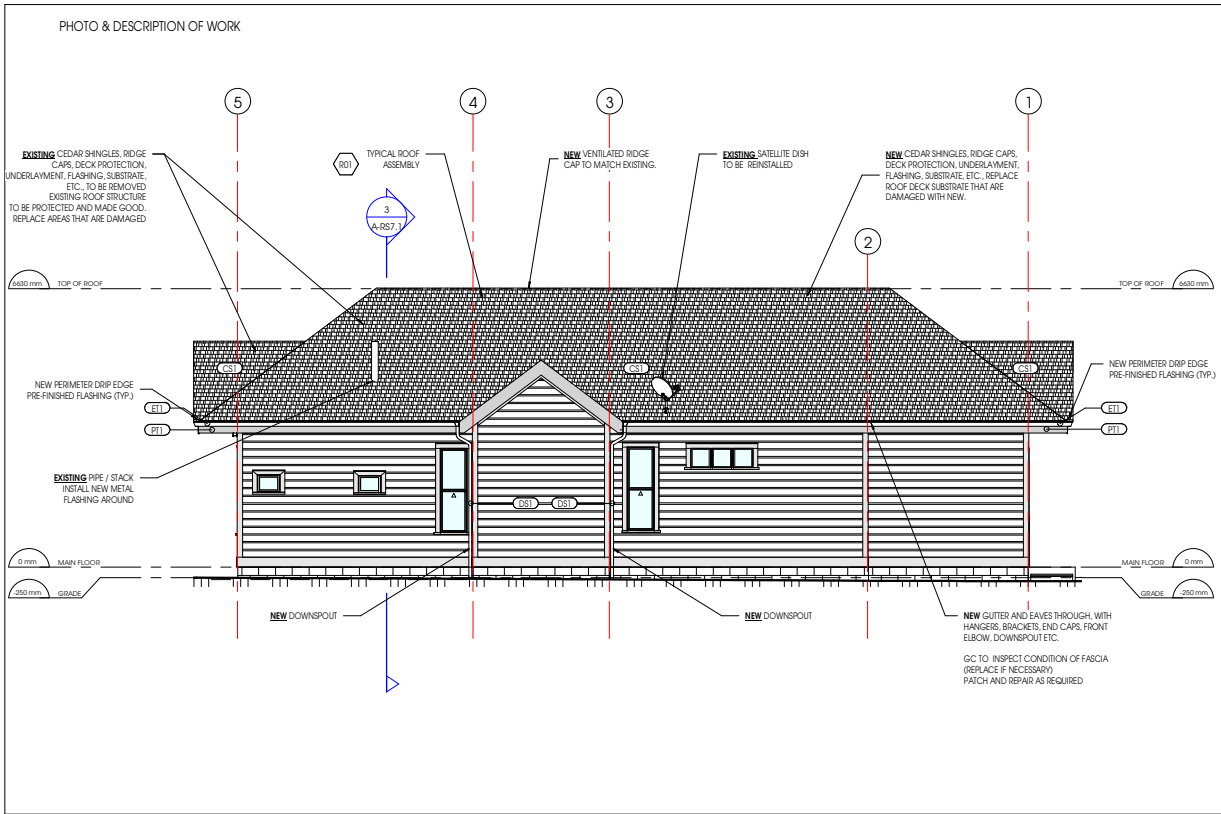
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## A-RS2.1

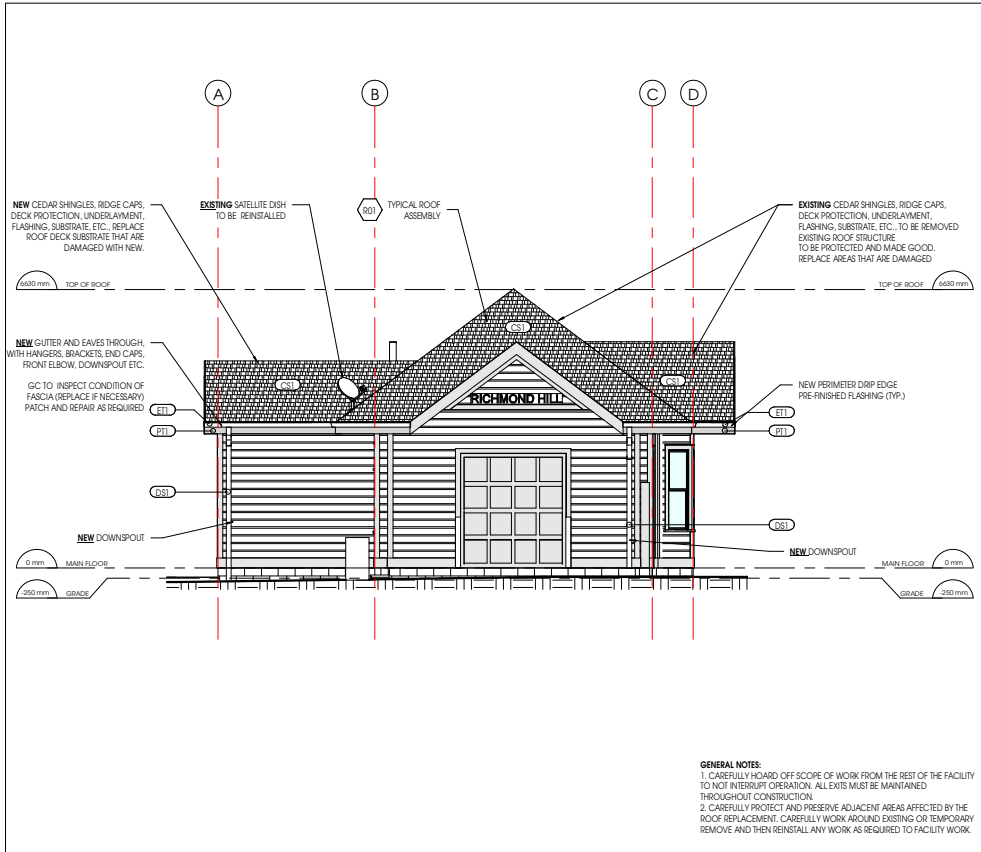




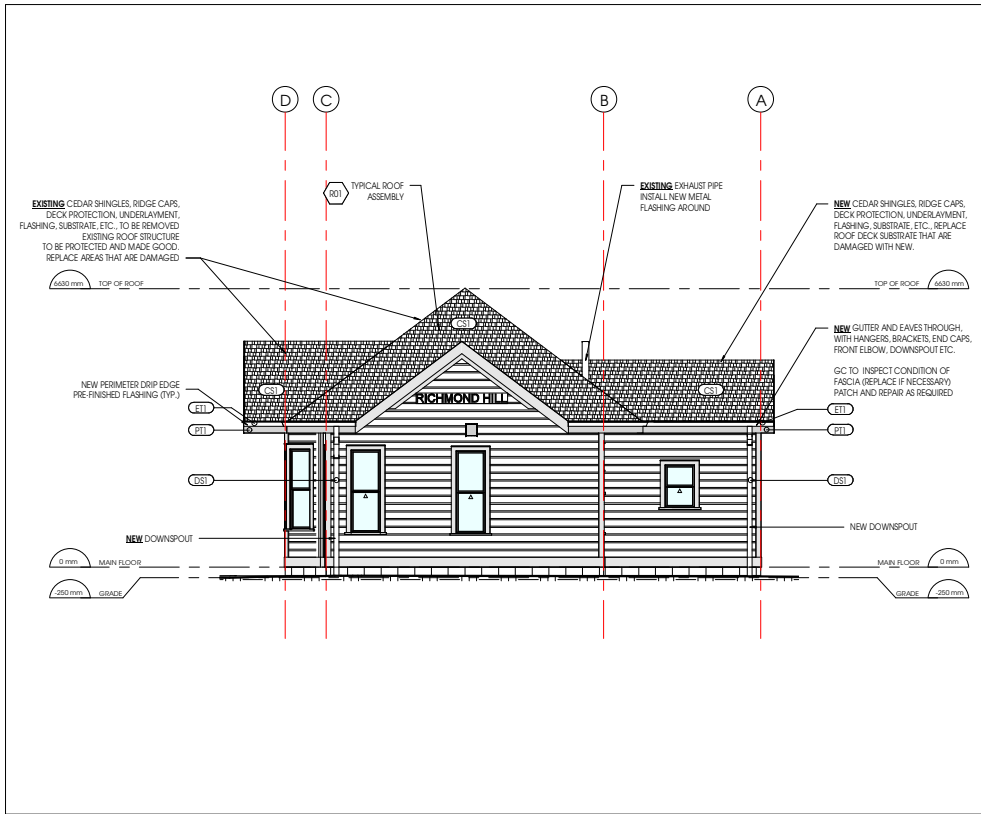
1 EAST ELEVATION  
A-RS5.1 1:75



2 WEST ELEVATION  
A-RS5.1 1:75



4 SOUTH ELEVATION  
A-RS5.1 1:75



3 NORTH ELEVATION  
A-RS5.1 1:75

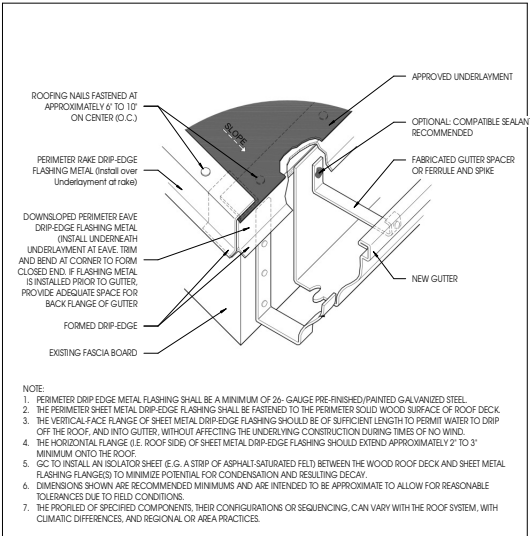
001	2023 02 21	ISSUE FOR TENDER
NUMBER	DATE	REMARK
REVISION TABLE		
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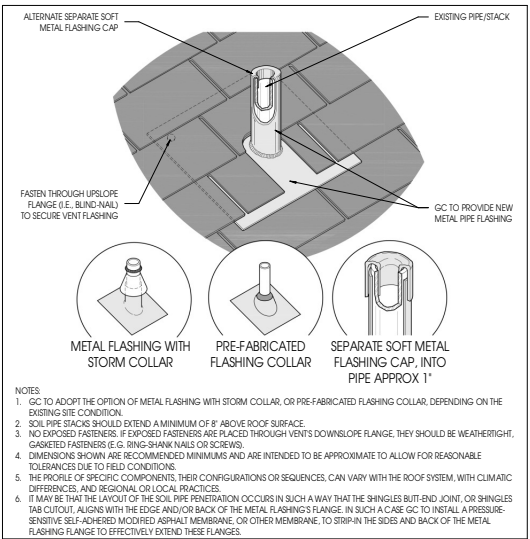


PROJECT	RAIL STATION ROOF REPLACEMENT
1370 ELGIN MILLS RD E, RICHMOND HILL, ON	
DRAWING	ELEVATIONS
DRAWN	KS
SCALE	1 : 75
DATE	02/21/2023
CHECKED	RL
PROJECT	21-1515
DRAWING	

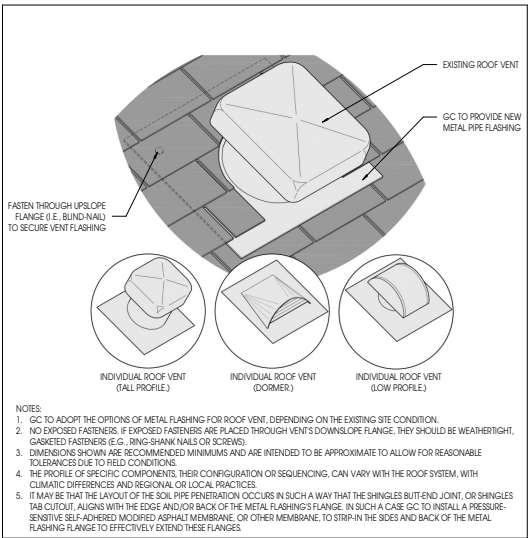
A-RS5.1



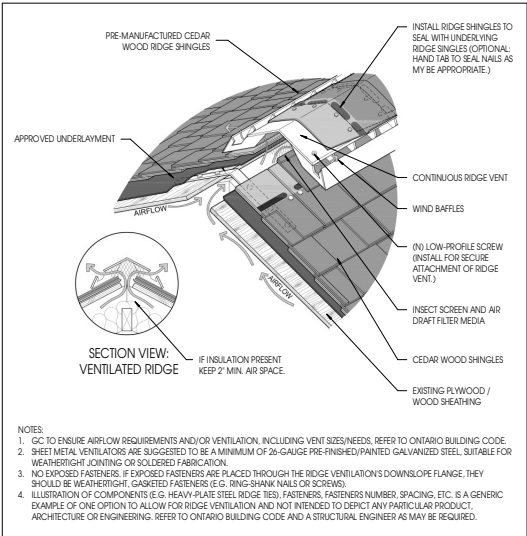
4 Drip Edge (with Gutter) Detail  
A-RS7.1 N.T.S.



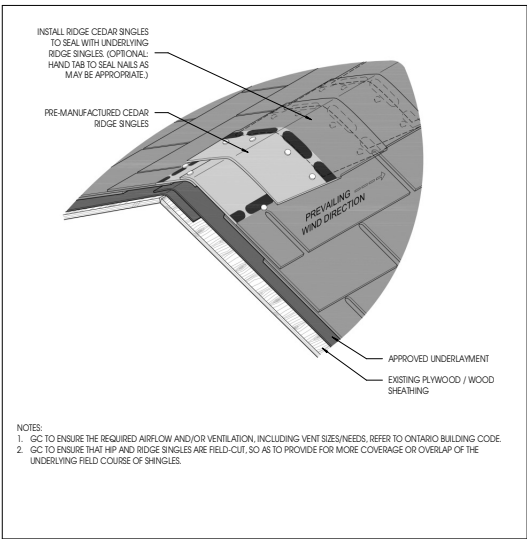
5 Soil Pipe Stack Flashing Detail  
A-RS7.1 N.T.S.



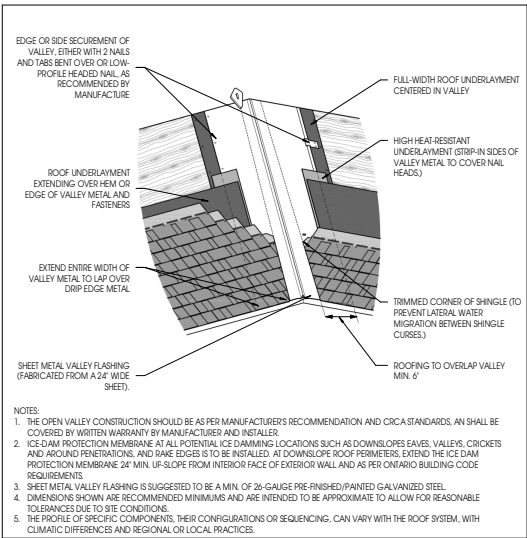
6 Roof Vent Flashing Detail  
A-RS7.1 N.T.S.



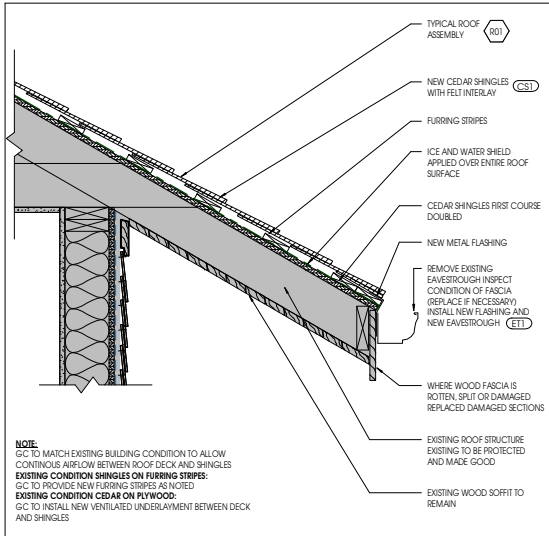
7 Ventilated Ridge Cap Detail  
A-RS7.1 N.T.S.



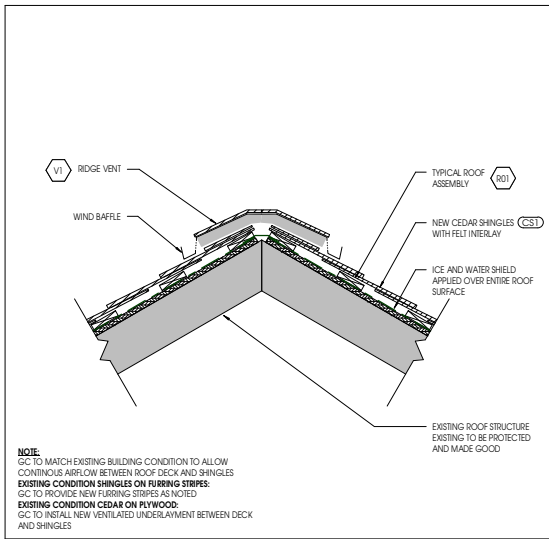
8 Non-Vented Ridge Cap Details  
A-RS7.1 1:30



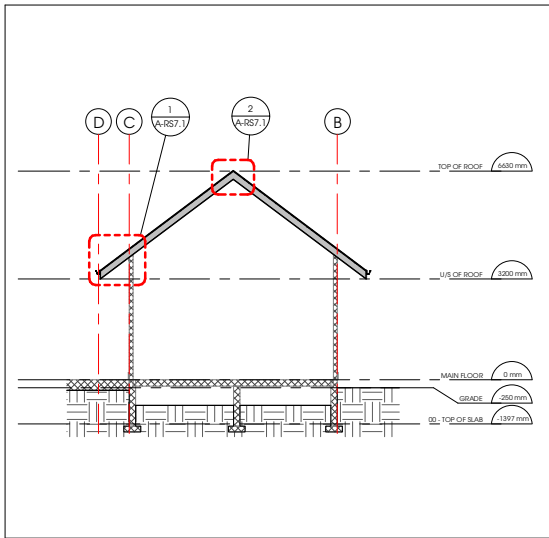
9 Open Valley Detail  
A-RS7.1 1:25



1 Roof @ Soffit  
A-RS7.1 1:10 - REF. A-RS7.1



2 Roof @ Ridge  
A-RS7.1 1:10 - REF. A-RS7.1



3 Section Key-Plan  
A-RS7.1 1:100 - REF. A-RS2.1

01	2023 02 21	Issue for Tender
NUMBER	DATE	REMARK
REVISION TABLE		

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**PROJECT**  
**RAIL STATION ROOF REPLACEMENT**

**1370 ELGIN MILLS RD E,  
RICHMOND HILL, ON**

**DRAWING**  
**DETAILS**

**DRAWN**  
**KS**

**SCALE**  
**As indicated**

**DATE**  
**02/21/2023**

**CHECKED**  
**RL**

**PROJECT**  
**21-1515**

**DRAWING**

**A-RS7.1**