

**Amendment 54  
To The Richmond Hill  
Official Plan**

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## **Richmond Hill Official Plan**

### **Official Plan Amendment 54**

The attached schedule and explanatory text constitute Amendment Number 54 to the Richmond Hill Official Plan.

This amendment was prepared and recommended by the Richmond Hill Council and was adopted by the Council of the Corporation of the City of Richmond Hill by By-law Number 79-24 in accordance with Sections 17 and 22 of the *Planning Act* on the 19<sup>th</sup> day of June, 2024.

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**David West**  
**Mayor**

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**Stephen M.A. Huycke**  
**City Clerk**

# **The Corporation of The City Of Richmond Hill**

## **By-law 79-24**

A By-law to Adopt Amendment 54 to the  
Richmond Hill Official Plan

The Council of the Corporation of the City of Richmond Hill, in accordance with provisions of the Planning Act, R.S.O. 1990, hereby enacts as follows:

1. That Amendment 54 to the Richmond Hill Official Plan, consisting of the attached Part Two and Schedule 1 is hereby adopted.
2. This by-law shall come into force and take effect on the day of the final passing thereof.

**Passed this 19<sup>th</sup> day of June, 2024.**

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**David West**  
**Mayor**

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**Stephen M.A. Huycke**  
**City Clerk**

**Part One - The Preamble** is not a part of the Amendment.

**Part Two - The Amendment**, consisting of text and maps, constitutes Amendment 54 to the Richmond Hill Official Plan.

## Part One – The Preamble

### 1.1 Purpose

The purpose of this Amendment to the Richmond Hill Official Plan is to amend Chapter 6 of the Official Plan of the City of Richmond Hill in order to provide site specific polices related to 9675, 9677 and 9699 Yonge Street and to amend Schedule A11 to add the Exception Area 49 to the Schedule. The proposed development combines the lands into a single development parcel. This amendment will allow a high density, mixed use residential/commercial development comprised of two (2) apartment buildings with heights of 19 storeys and 16 storeys that are connected by a six (6) storey podium and at-grade townhouse dwelling units. The development also includes an attached four (4) storey retail/commercial podium along Yonge Street for the purpose of an automotive car dealership and an overall maximum density of 4.7 Floor Space Index (FSI).

### 1.2 Location

The lands affected by this Amendment are located on the east side of Yonge Street, and are legally described as Part of Lots 1, 2 and 3, Registered Plan 2260. (Municipal Addresses: 9675, 9677 and 9699 Yonge Street) (the “Subject Lands”). The area of the Subject Lands proposed to be developed is 0.74 hectares (1.83 acres) and are shown on Schedule 1 attached hereto.

### 1.3 Basis

The proposed amendment is considered by Council to be appropriate for the following reasons:

1. The *Provincial Policy Statement* (“PPS”) provides policy direction on matters of Provincial interest related to land use planning and development, including providing direction for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment. In this regard, the PPS includes policies that encourage efficient land use and development patterns, support a range and mix of housing options, promote planning for open spaces, parks, trails and linkages, direct development away from natural hazards, and protect natural heritage systems, among other objectives.

The proposed development is consistent with the principles and objectives of the PPS.

2. The *Growth Plan for the Greater Golden Horseshoe* (“Growth Plan”) informs decision-making regarding growth management and environmental protection within the Greater Golden Horseshoe (“GGH”)

and provides overall policy direction on matters of provincial interest. The Growth Plan builds upon the policy foundation provided by the PPS and establishes additional and more specific land use planning policies for the GGH. The Growth Plan provides an overarching vision for how and where growth shall occur, while accommodating forecasted growth within complete communities that support access to an appropriate mix of jobs and services, public service facilities, and a full range of housing options. To support the above objectives, the Growth Plan includes policies that direct growth within settlement areas, provide for a mix of uses and services, encourage housing options, protect natural heritage features and establish minimum intensification and density targets, among other matters.

The proposed development is consistent with the policy direction as set out within the Growth Plan.

3. The York Region Official Plan (“ROP”) guides economic, environmental and community building decisions to manage growth within York Region and establishes policies that support more detailed and refined planning by local municipalities. The ROP contains policies that support the development of a diverse and compatible mix of land uses and intensification which is to be directed within strategic locations in the built-up area. The ROP also contains policies relating to fostering high-quality design, a mix and range of housing types, the protection of natural heritage features and safety in relation to natural hazards.

The subject lands are presently shown within the **Urban Area** in accordance with Map 1 (Regional Structure) and designated **Community Area** in accordance with Map 1A (Land Use Designations) of the ROP. The **Urban Area** and **Community Area** policies permit a full range and mix of urban uses. The proposal reinforces and supports the planned urban structure identified in the ROP by providing a mixed use development with commercial/retail opportunities, utilizing existing services and contributing to the creation of a complete community.

The proposal demonstrates consistency with the policy direction and objectives of the York Region Official Plan.

4. The subject lands are designated **Regional Mixed-Use Corridor** in accordance with Schedule A2 (Land Use) of the City’s Official Plan (“Plan”). The Regional Mixed Use Corridor policies permit high density mixed use, pedestrian friendly and transit oriented uses through intensification and development. The proposed development maintains the general intent and purpose of the goals, objectives and policies of the Plan, including providing dwelling units ranging in size in an appropriate location within the City to contribute to a complete community.

## Part Two – The Amendment

### 2.1 Introduction

All of this part of the document entitled **Part Two – The Amendment**, consisting of the following text outlined in Section 2.2 constitute Amendment 54 to the Richmond Hill Official Plan.

### 2.2 Details of the Amendment

The Official Plan of the City of Richmond Hill, is amended as follows:

2.2.1 That **Schedule A11** (Exceptions) to the Richmond Hill Official Plan be amended to identify the subject lands as Exception Area Number 49, as shown on Schedule 1 attached.

2.2.2 By adding the following to Chapter 6 (Exceptions):

“6.49

Notwithstanding any other provision of this Plan to the contrary, for the lands known as Part of Lots 1, 2 and 3, Registered Plan 2260 (Municipal Addresses: 9675, 9677 and 9699 Yonge Street and shown as Exception Area Number 49 on **Schedule A11** (Exceptions) to this Plan, the following shall apply:

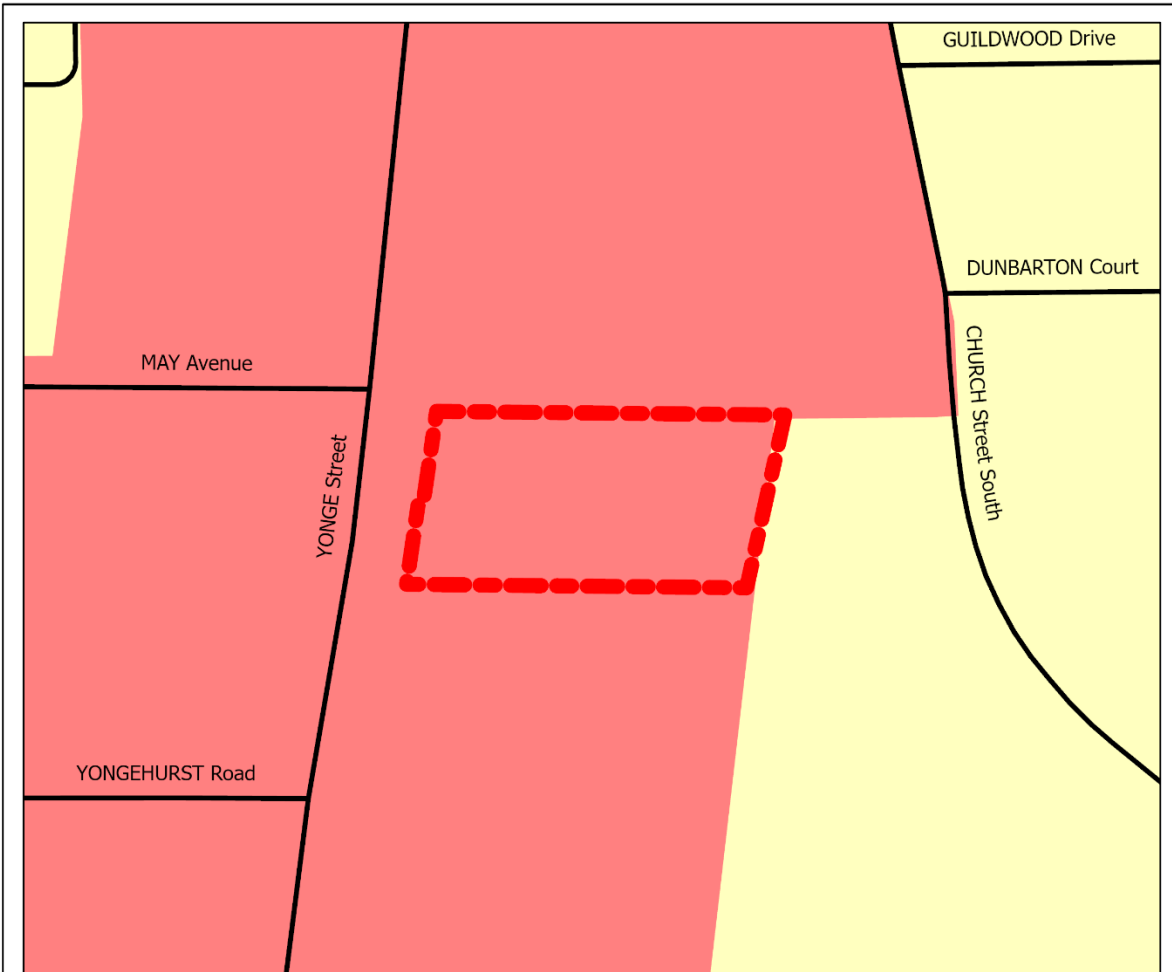
- a. the maximum building height permitted shall be 19 storeys (Tower A) and 16 storeys (Tower B), exclusive of mechanical penthouse;
- b. the maximum base building height permitted shall be 6 storeys for the interior podium;
- c. a retail/commercial podium shall be permitted along the Yonge Street frontage up to a maximum of 4 storeys;
- d. the maximum density permitted shall be 4.7 Floor Space Index (FSI); and,
- e. in accordance with Policy 3.4.1(46)(c), the proposed development plan shall provide for public laneways and driveway connections between future development on adjacent sites to the immediate north and south.”



### **2.3 Implementation and Interpretation**

The implementation of this Amendment shall be in accordance with the provisions of the *Planning Act*, R.S.O. 1990, and the respective policies of the City of Richmond Hill Official Plan.

The provision of the Official Plan as amended from time to time, regarding the interpretation of the Official Plan of the City of Richmond Hill, apply in regard to this Official Plan Amendment. In the event of conflict with the Official Plan or any amendment thereto, the provisions of Amendment 54 shall prevail unless otherwise specified.



### AMENDMENT No. 54 TO THE OFFICIAL PLAN OF THE RICHMOND HILL PLANNING AREA SCHEDULE 1

NOTE: THIS SCHEDULE FORMS PART OF AMENDMENT No. 54 TO THE  
OFFICIAL PLAN OF THE RICHMOND HILL PLANNING AREA  
AND MUST BE READ IN CONJUNCTION WITH THE WRITTEN TEXT

**Legend**

-  Area to be added to Schedule A11 as Exception Area Number 49
-  Regional Mixed Use Corridor
-  Neighbourhood

