

# The Corporation of the City of Richmond Hill

## By-law 17-26

A By-law to Amend By-law 93-25, as amended, of  
The Corporation of the City of Richmond Hill

Whereas the Council of The Corporation of the City of Richmond Hill (the "Corporation") at its Meeting of February 11, 2026, directed that this by-law be brought forward to Council for its consideration;

### Now Therefore The Council Of The Corporation Of The City Of Richmond Hill Enacts As Follows:

1. That By-law 93-25, as amended, of The Corporation of the City of Richmond Hill ("By-law 93-25"), be and hereby is further amended as follows:

a) by adding the following to Section 13.0 – Exceptions:

"13.37

Notwithstanding any inconsistent or conflicting provisions of By-law 93-25, as amended, the following shall apply to the lands located at 112 Elgin Mills Road West and zoned "Neighbourhood Mixed Use (NMU)" as denoted on Schedule "A":

- (1) For the purpose of this By-law, the lands shown on Schedule "A" shall be deemed to be one lot.
- (2) For the purpose of Table 5.2B Special Provision 18 of this By-law, setback shall be deemed as the distance between the **street** and/or **lane** to the **main buildings**.
- (3) Notwithstanding Table 3.4A, window bays up to 3.7 metres in width are permitted to encroach 1.0 metres into the minimum required **yards**.
- (4) Notwithstanding Table 3.4A, exterior steps including any associated landings shall be permitted to encroach up to the property line into the required **flankage yard**.
- (5) Notwithstanding Section 3.14 (2), the minimum interior width of a double car **attached garage** shall be 5.4 metres.
- (6) Notwithstanding Table 5.2A:
  - a. the minimum required **flankage yard setback** shall be 2.5 metres;
  - b. the minimum required **rear yard setback** shall be 1.5 metres; and,
  - c. the maximum **building height** of a **block residential dwelling** shall be 12.5 metres.
- (7) Table 5.2B Special Provision 18(a) shall not apply.
- (8) Notwithstanding Table 5.2B Special Provision 18(b), and any other provision contrary to this By-law, where a **building** permitted under a **block residential dwelling** fronts onto Dickson Street, a minimum distance of 2.5 metres shall be provided from the front **main wall** of the **building** to the fronted **street**.
- (9) Notwithstanding Table 5.2B Special Provision 18(d), a minimum distance of 1.5 metres shall be provided from the intersection of the exterior side wall and the exterior front or rear wall of a **main building** to the curved portion of a **lane**.

- (10) Notwithstanding Table 5.2B Special Provision 18(f), where a **building** permitted under a **block residential dwelling** fronts onto a **street** or a **lane**:
- a. a minimum distance of 5 metres shall be provided from the rear **main wall** of the **building** to the interior lot line where the rear **main wall** faces the interior lot line;
  - b. where the **building** fronts onto Elgin Mills Road West also backs onto a **lane**; a minimum of 2.5 metres shall be provided from the rear **main wall** of the **building** to the **lane**; and,
  - c. where the **building** fronts onto Dickson Street also backs onto a **lane**; a minimum of 1 metre shall be provided from the rear **main wall** of the **building** to the **lane**.
- (11) Notwithstanding Table 10.3C, the maximum required number of visitor automobile **parking space** for **block residential dwelling** shall be 0.25 spaces per **dwelling unit**.
- (12) Sections 10.9 and 10.12 shall not apply.”

b) by amending Schedule “A” of By-law 93-25, as amended, as shown on Schedule “A” of this By-law 17-26;

2. That all other provisions of By-law 93-25, as amended, not inconsistent with the foregoing shall continue to apply to the lands shown on Schedule “A” attached hereto; and,
3. That Schedule “A” attached to By-law 17-26 is declared to form a part of this By-law.

Passed this 11<sup>th</sup> day of February, 2026.

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David West  
Mayor

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Stephen M.A. Huycke  
City Clerk

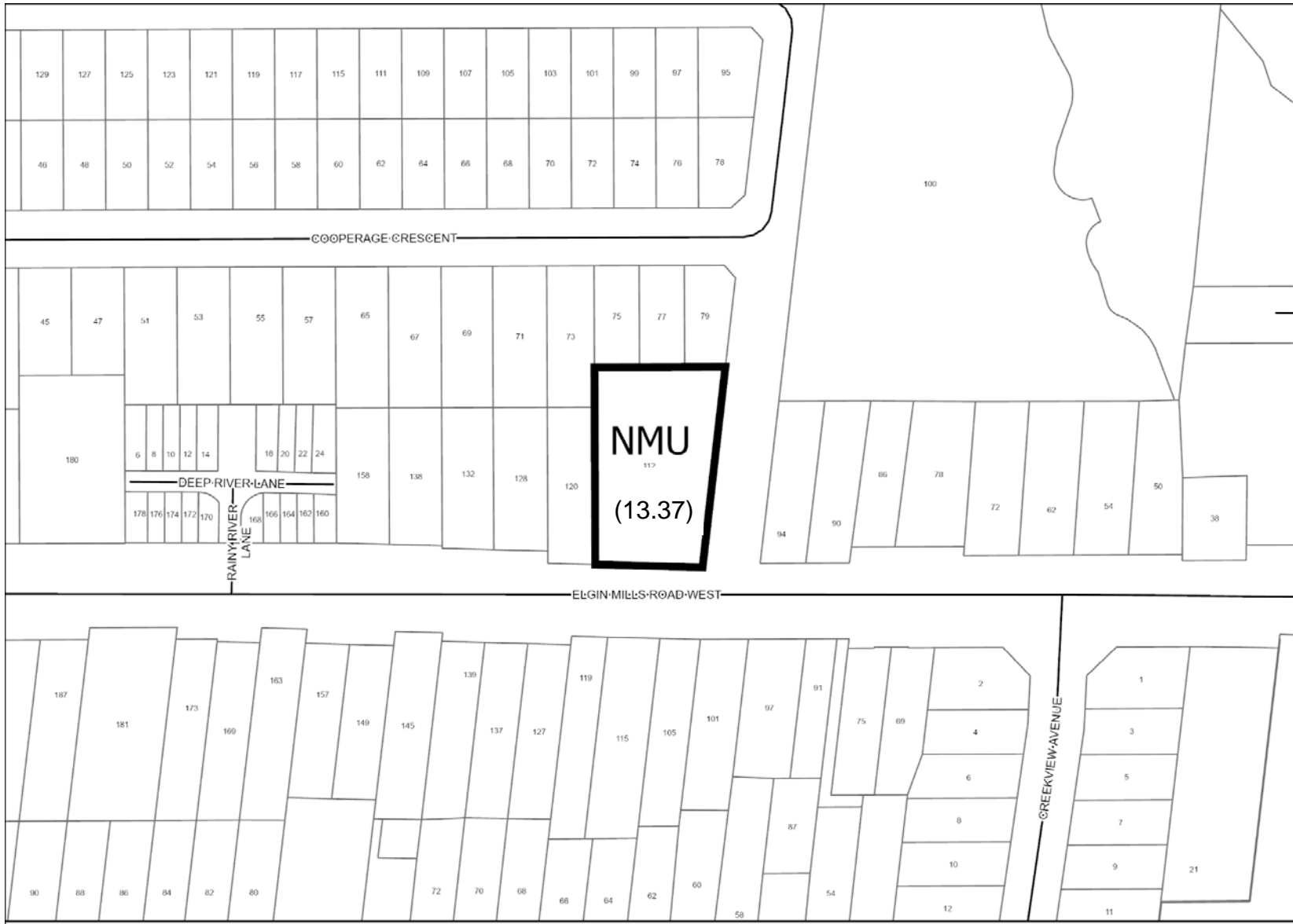
# **The Corporation of The City Of Richmond Hill**

## **Explanatory Note to By-Law 17-26**

By-law 17-26 affects the lands described as Part of Lot 1, Registered Plan 2404, municipally known as 112 Elgin Mills Road West.

The lands are currently zoned "Neighbourhood Mixed Use (NMU) Zone" under By-law 93-25, as amended, of The Corporation of the City of Richmond Hill.

By-law 17-26 will have the effect of establishing site-specific development standards to "Neighbourhood Mixed Use (NMU) Zone" under By-law 93-25, as amended, to facilitate a residential development comprised of 15 townhouse dwelling units on a private common element condominium road.



# SCHEDULE "A"

## TO BY-LAW NO. 17-26

This is Schedule "A" to By-Law 17-26 passed by the Council of the Corporation of the City of Richmond Hill on the 11<sup>th</sup> day of February, 2026

David West  
Mayor

Stephen M.A. Huycke  
City Clerk

 AREA SUBJECT TO THIS BYLAW

