

The Corporation of the City of Richmond Hill

By-Law 12-26

A By-Law to Amend By-law 93-25, as amended, of
The Corporation of the City of Richmond Hill

Whereas the Council of The Corporation of the City of Richmond Hill (the "Corporation") at its Meeting of February 25, 2026, directed that this by-law be brought forward to Council for its consideration;

Now Therefore The Council Of The Corporation Of The City Of Richmond Hill Enacts As Follows:

1. That By-law 128-04, as amended, of The Corporation of the City of Richmond Hill ("By-law 128-04"), be repealed for the lands shown on Schedule "A" of this By-law 12-26 (the "Lands");
2. That By-law 93-25, as amended, of The Corporation of the City of Richmond Hill ("By-law 93-25"), be and hereby is further amended as follows:
 - a) by zoning the Lands to "Neighbourhood Townhouse Two (NT2) Zone" as shown on Schedule "A" to this By-law 12-26;
 - b) by adding the following to Section 13.0 – Exceptions:

"13.38

Notwithstanding any inconsistent or conflicting provisions of this By-law, the following shall apply to lands identified as Concession 2, Part of Lot 31 (municipally known as 11580 Leslie Street) and **zoned** NT2 (13.38) as denoted on Schedule "A":

- (1) For the purposes of this By-law, the lands shown on Schedule "A" shall be deemed to be one **lot**;
 - (2) For the purpose of Table 5.2B Special Provision 18 of this By-law, setback shall be deemed as the distance between the street and/or lane to the main building.
 - (3) Notwithstanding Table 5.2A, the minimum required rear yard setback shall be 3 metres;
 - (4) Table 5.2B Special Provision 18(a) shall not apply;
 - (5) Notwithstanding Table 5.2B Special Provision 18(f), where a building permitted under a **block residential dwelling** fronts onto a **street** or a **lane** and backs onto a **lane**, a minimum of 3 metres shall be provided from the **main wall** of the **building** to the **lane**;
 - (6) Notwithstanding Table 5.2B Special Provision 18(d), a minimum distance of 2.5 metres shall be provided from the intersection of the exterior side wall and the exterior front or rear wall of a **main building** to the curved portion of a **lane**.
 - (7) Table 10.4C Special Provision 2 shall not apply;
 - (8) Section 10.12 and 10.6.2 shall not apply;
- c) by amending Schedule "A" of By-law 93-25, as amended, as shown on Schedule "A" of this By-law 12-26;

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3. That all other provisions of By-law 93-25, as amended, not inconsistent with the foregoing shall continue to apply to the lands shown on Schedule "A" attached hereto; and,
4. That Schedule "A" attached to By-law 12-26 is declared to form a part of this By-law.

Passed this 25th day of February, 2026.

David West
Mayor

Ryan Ban
Deputy City Clerk

File: D02- 18006

The Corporation of The City of Richmond Hill

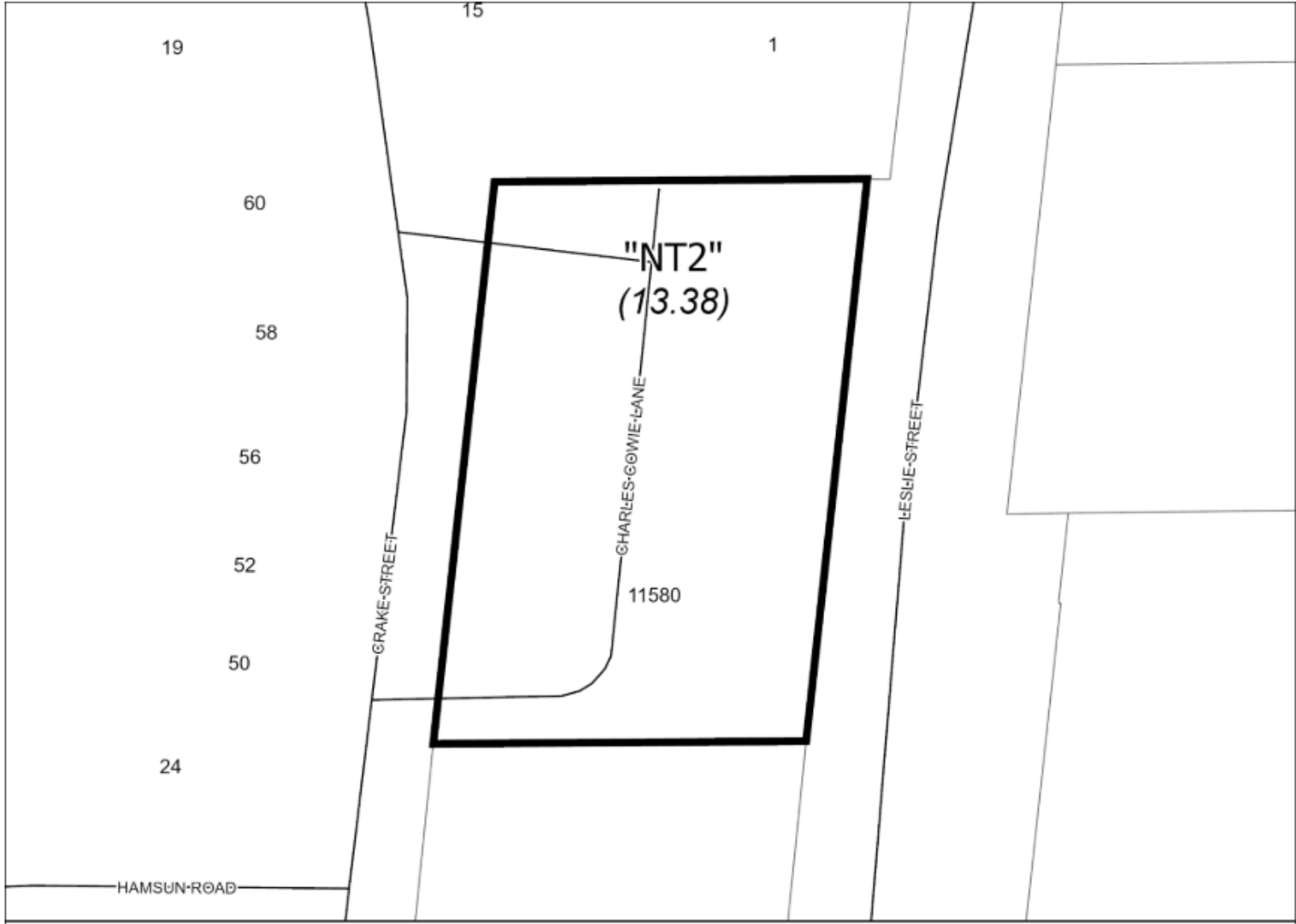
Explanatory Note to By-law 12-26

By-law 12-26 affects the lands described as Part of Lot 31, Concession 3, municipally known as 11580 Leslie Street (the “lands”).

The lands are currently zoned “Oak Ridges Moraine Countryside (ORMCO) Zone” under By-law 128-04, as amended, of The Corporation of the City of Richmond Hill.

By-law 12-26 will have the effect of expanding the area subject to By-law 93-25, as amended, to include the lands, and zoning the lands as “Neighbourhood Townhouse Two (NT2) Zone” under By-law 93-25, as amended, to facilitate a residential development comprised of 19 block residential townhouse units on the subject lands.

By-law 12-26 will have the effect of establishing site-specific development standards to “Neighbourhood Townhouse Two (NT2) Zone” under By-law 93-25, as amended, to facilitate to facilitate a residential development comprised of 19 block residential townhouse units on the subject lands.



SCHEDULE "A" TO BY-LAW NO. 12-26

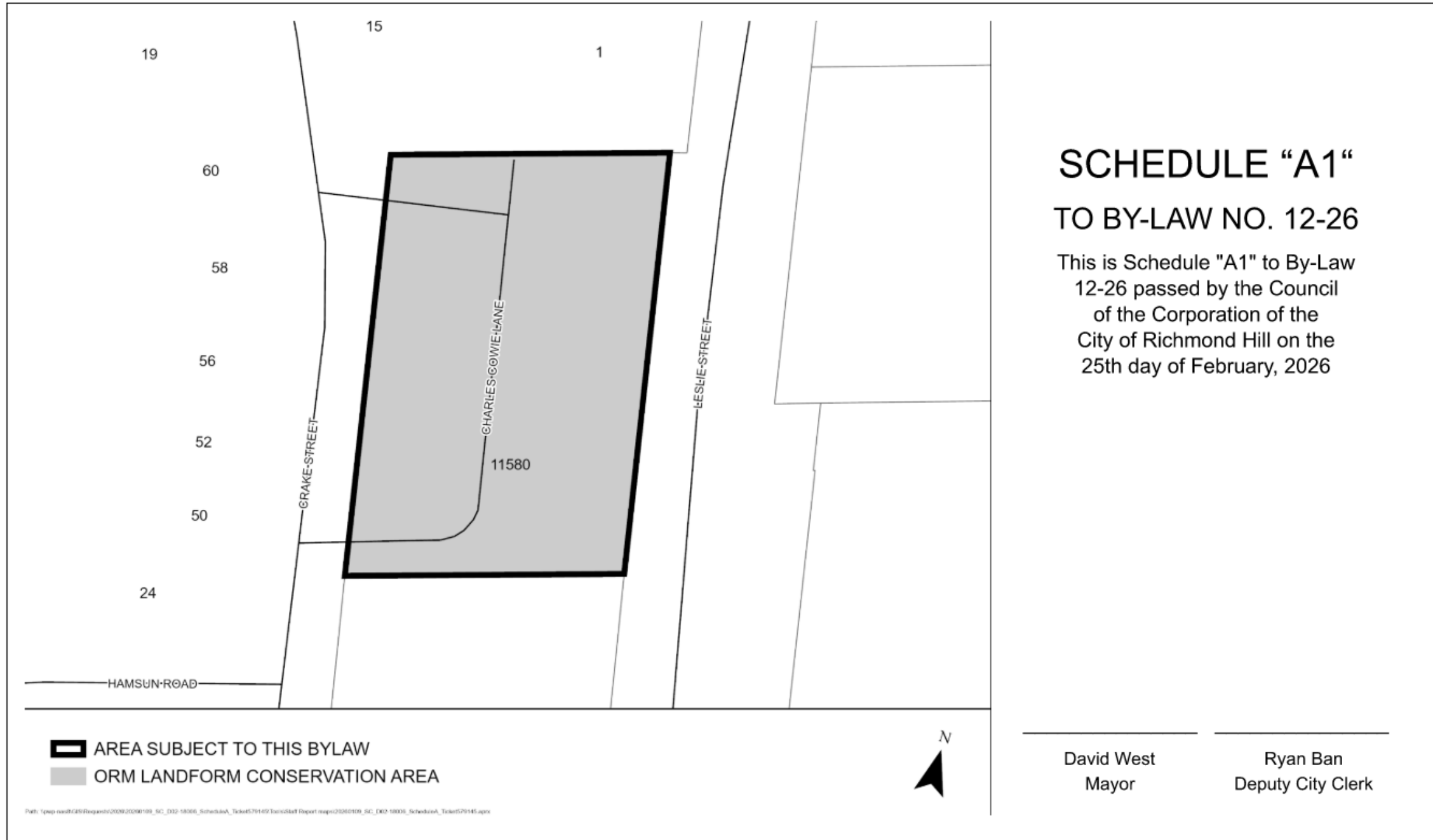
This is Schedule "A" to By-Law 12-26 passed by the Council of the Corporation of the City of Richmond Hill on the 25th day of February, 2026

David West
Mayor

Ryan Ban
Deputy City Clerk

 AREA SUBJECT TO THIS BYLAW





SCHEDULE "A1"

TO BY-LAW NO. 12-26

This is Schedule "A1" to By-Law 12-26 passed by the Council of the Corporation of the City of Richmond Hill on the 25th day of February, 2026

David West
Mayor

Ryan Ban
Deputy City Clerk